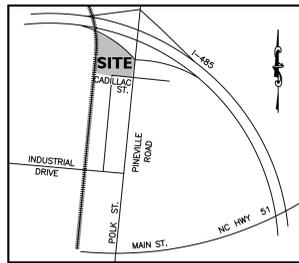


CONDITIONAL ZONING SUBMITTAL FOR
HYUNDAI OF SOUTH CHARLOTTE
10518 CADILLAC STREET
PINEVILLE, NC 28134



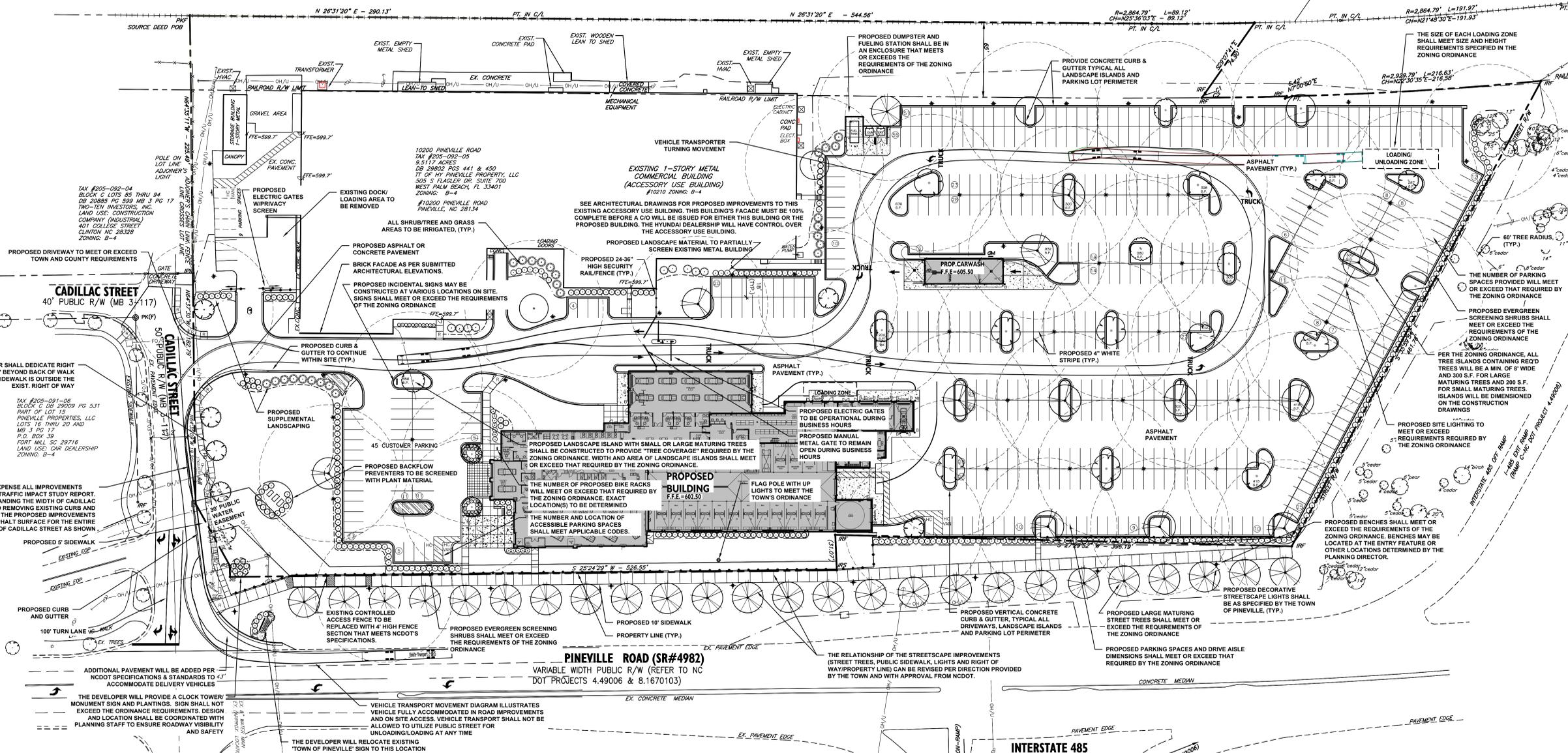


VICINITY MAP
NTS

SOUTHERN RAILWAY - 130' R/W

SEE NC DOT PLANS FOR PROJECT 4.49006 RECORDED
IN STATE HWY BOOK 2 PAGES 403 AND 404.

TAX # 205-092-11 DB 3189 PG 37
GEORGIA INDUSTRIAL REALTY COMPANY
110 FRANKLIN ROAD SE
ROANOKE VA 24062
LAND USE: INDUSTRIAL



TAX #205-092-04
BLOCK C LOTS 85 THRU 94
DB 20805 PG 598 MG 3 PG 17
TWO-TEN INVESTMENTS, INC.
LAND USE: CONSTRUCTION
COMPANY (INDUSTRIAL)
401 COLLEGE STREET
CLINTON NC 28322
ZONING: B-4

TAX #205-091-06
BLOCK C LOTS 20009 PG 031
PART OF LOT 18
PINEVILLE PROPERTIES, LLC
LOTS 16 THRU 20 AND
MG 3 PG 17
P.O. BOX 39
FORT MILL SC 29716
LAND USE: CAR DEALERSHIP
ZONING: B-4

TAX #207-081-21
DB 23317 PG 009
SPIRIT SUE LOAN PORTFOLIO
2011-5 LLC
PO BOX 25965
RICHMOND VA 23242
LAND USE: CAR DEALERSHIP
ZONING: B-4

CONDITIONAL NOTES

- ZONING**
 - A. 84 CONDITIONAL USE PERMIT REQUESTED FOR A SINGLE AUTO DEALERSHIP ON THE SITE
 - B. PARCEL ACREAGE 11.22 ACRES.
- BUILDING AREA AND LOCATION**
 - A. NEW STRUCTURE AREA SHALL NOT EXCEED 55,000 GROSS HEATED SQUARE FEET
 - B. CAR WASH AND ACCESSORY STRUCTURES SHOWN SHALL NOT EXCEED 1,200 GROSS SQUARE FEET
 - C. EXISTING BUILDING ON SITE TO REMAIN REDUCED IN SIZE TO 75,000 GROSS SQUARE FEET
 - D. NEW MAIN STRUCTURE SHALL BE PLACED AS SHOWN ON THE DRAWINGS, VERY NEAR THE PRIMARY BUILD-TO LINE (PRIOR TO THE PROPERTY LINE OFFSET), NO SUBDIVISION OF PROPERTY EXCEPT BY TOWN APPROVAL.
- PARKING AND TREE COVERAGE**
 - A. PARKING DATA:
 - 20 SALES PERSONS
 - 40 OTHER EMPLOYEES
 USING ORDINANCE FORMULA = 120 REQUIRED SPACES
SPACES PROVIDED WILL EXCEED 120 (+/- 819 SHOWN)
 - B. NUMBER OF REQUIRED BIKE RACKS WILL MEET OR EXCEED THAT REQUIRED BY ZONING ORDINANCE. EXACT LOCATIONS TO BE DETERMINED AND REVIEWED WITH PLANNING STAFF.
 - C. PER THE ORDINANCE ALL TREE ISLANDS CONTAINING REQUIRED TREES WILL BE A MINIMUM OF 8 FEET WIDE AND 300 S.F. FOR LARGE MATURING TREES AND 200 S.F. FOR SMALL MATURING TREES. ISLANDS WILL BE DIMENSIONED ON THE CONSTRUCTION DRAWINGS. TREES WILL BE SPACED TO PROVIDE THE 60 FT. RADIUS TREE COVERAGE REQUIRED.
- STREETSCAPE IMPROVEMENTS**
 - A. 10 FOOT WIDE SIDEWALK ALONG POLK STREET, 5 FEET ALONG CADILLAC ST. AS SHOWN ON THE DRAWINGS.
 - B. STREET TREES AS REQUIRED BY THE ORDINANCE, SELECTED FROM THE ORDINANCE LIST, WILL BE PROVIDED AS SHOWN ON THE DRAWINGS.
 - C. DECORATIVE STREET LIGHTS, BENCHES AND OTHER PUBLIC IMPROVEMENTS REQUIRED BY THE ORDINANCE WILL BE PROVIDED.
- FENCE AND GATES**
 - A. PROPOSED MANUAL AND ELECTRIC GATES SHALL REMAIN OPERATIONAL, AS REQUIRED FOR THE FACILITY, AS SHOWN ON THE DRAWINGS.
 - B. GATE TO THE WEST OF THE EXISTING BUILDING WILL HAVE PRIVACY SCREEN TO SHIELD AREA BEYOND FROM VIEW.
 - C. STREET TREES AS REQUIRED BY THE ORDINANCE, SELECTED FROM LOCATIONS DETERMINED BY NCDOT, FENCE SHALL MEET THE REQUIREMENTS OF NCDOT AND THE TOWN.
- ROADWAY IMPROVEMENTS**
 - A. DEVELOPER SHALL PROVIDE AT THEIR EXPENSE ALL IMPROVEMENTS REQUIRED TO CADILLAC STREET TO MEET THE TRAFFIC IMPACT STUDY REPORT. THIS SHALL INCLUDE, BUT IS NOT LIMITED TO, EXPANDING THE WIDTH OF CADILLAC STREET AS SHOWN ON THE DRAWINGS AND REMOVING EXISTING CURB AND GUTTER ALONG THEIR PROPERTY TO CONSTRUCT THE PROPOSED IMPROVEMENTS SHOWN. THE APPLICANT WILL PROVIDE NEW ASPHALT SURFACE FOR THE WIDTH OF CADILLAC STREET AS SHOWN.
 - B. DEVELOPER SHALL DEDICATE RIGHT OF WAY 2' BEYOND BACK OF WALK WHERE SIDEWALK IS OUTSIDE THE EXIST. RIGHT OF WAY.
 - C. DEVELOPER SHALL PROVIDE AT THEIR EXPENSE ALL IMPROVEMENTS REQUIRED TO CADILLAC STREET TO MEET THE TRAFFIC IMPACT STUDY REPORT. THIS SHALL INCLUDE, BUT IS NOT LIMITED TO, EXPANDING THE WIDTH OF CADILLAC STREET AS SHOWN ON THE DRAWINGS AND REMOVING EXISTING CURB AND GUTTER ALONG THEIR PROPERTY TO CONSTRUCT THE PROPOSED IMPROVEMENTS SHOWN. THE APPLICANT WILL PROVIDE NEW ASPHALT SURFACE FOR THE WIDTH OF CADILLAC STREET AS SHOWN.
 - D. THE DEVELOPER WILL PROVIDE A CLOCK TOWER/MONUMENT SIGN AND PLANTINGS. SIGN SHALL NOT EXCEED THE ORDINANCE REQUIREMENTS. DESIGN AND LOCATION SHALL BE COORDINATED WITH PLANNING STAFF TO ENSURE ROADWAY VISIBILITY AND SAFETY.
 - E. PROPOSED SIDEWALK AND GUTTER.
 - F. 100' TURN LANE VEG. MESH.
 - G. ADDITIONAL PAVEMENT WILL BE ADDED PER NCDOT SPECIFICATIONS & STANDARDS TO 4.5' ACCOMMODATE DELIVERY VEHICLES.
 - H. THE DEVELOPER WILL RELOCATE EXISTING TOWN OF PINEVILLE SIGN TO THIS LOCATION AND LANDSCAPE THE FRONT AND REAR OF SIGN. EXACT LOCATION TO BE COORDINATED WITH PLANNING STAFF. THE TOWN MAY CHOOSE TO DESIGN AND CONSTRUCT A NEW SIGN. DEVELOPER WILL SECURE NCDOT RW PERMITS.
 - I. APPROXIMATE STREET R/W (NOT SURVEYED)
 - J. VEHICLE TRANSPORT MOVEMENT DIAGRAM ILLUSTRATES VEHICLE FULLY ACCOMMODATED IN ROAD IMPROVEMENTS AND ON SITE ACCESS. VEHICLE TRANSPORT SHALL NOT BE ALLOWED TO UTILIZE PUBLIC STREET FOR UNLOADING/LOADING AT ANY TIME.
 - K. THE DEVELOPER WILL RELOCATE EXISTING TOWN OF PINEVILLE SIGN TO THIS LOCATION AND LANDSCAPE THE FRONT AND REAR OF SIGN. EXACT LOCATION TO BE COORDINATED WITH PLANNING STAFF. THE TOWN MAY CHOOSE TO DESIGN AND CONSTRUCT A NEW SIGN. DEVELOPER WILL SECURE NCDOT RW PERMITS.
 - L. THE RELATIONSHIP OF THE STREETSCAPE IMPROVEMENTS (STREET TREES, PUBLIC SIDEWALK, LIGHTS AND RIGHT OF WAY/PROPERTY LINE) CAN BE REVIEWED PER DIRECTION PROVIDED BY THE TOWN AND WITH APPROVAL FROM NCDOT.
 - M. THE RELATIONSHIP OF THE STREETSCAPE IMPROVEMENTS (STREET TREES, PUBLIC SIDEWALK, LIGHTS AND RIGHT OF WAY/PROPERTY LINE) CAN BE REVIEWED PER DIRECTION PROVIDED BY THE TOWN AND WITH APPROVAL FROM NCDOT.
- LANDSCAPING**
 - A. LANDSCAPING PROVIDED WILL MEET OR EXCEED THE ORDINANCE. PROPOSED EVERGREEN SCREENING SHRUBS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE ZONING ORDINANCE AND ARE SHOWN ON THE DRAWINGS. PARKING IS SCREENED PER THE ORDINANCE.
 - B. EXISTING METAL BUILDING SHALL HAVE ADDITIONAL LANDSCAPING MATERIAL ADDED TO PARTIALLY SCREEN IT AS SHOWN ON THE DRAWINGS.
 - C. ALL REQUIRED LANDSCAPING SHALL BE ON IRRIGATION.
 - D. SHRUB PLANTINGS TO SCREEN PARKING AREAS MUST BE 2'4" UPON PLANTING ALONG THE POLK ST. FRONTAGE IN LIEU OF THE ORDINANCE SIZE REQUIREMENTS.
- EXISTING BUILDING IMPROVEMENTS**
 - A. EXISTING BUILDING BEING REDUCED IN FOOTPRINT, WILL HAVE NEW MASONRY APPEARING FRONT FACADE TO EXTENT SHOWN ON SITE PLAN. ELEVATIONS WILL APPEAR AS SHOWN ON THE DRAWINGS.
- VEHICLE LOADING/UNLOADING**
 - A. VEHICLE TRANSPORT MOVEMENT DIAGRAM ILLUSTRATES THE VEHICLE WILL BE FULLY ACCOMMODATED WITHIN THE ROAD IMPROVEMENTS AND ACCESS THROUGHOUT THE SITE.
 - B. VEHICLE TRANSPORT SHALL NOT BE ALLOWED TO UTILIZE PUBLIC STREETS FOR UNLOADING/LOADING AT ANY TIME. THE SIZE OF EACH REQUIRED LOADING ZONE ON THE SITE SHALL MEET SIZE AND HEIGHT REQUIREMENTS SPECIFIED IN THE ZONING ORDINANCE, AS SHOWN ON THE DRAWINGS.
- STOPWATER**
 - A. STORM WATER DETENTION SHALL BE A 'CLOSED' SYSTEM, AS REQUIRED BY THE TOWN'S ORDINANCE.
- SITE LIGHTING**
 - A. POLE HEIGHT AND LIGHTING TYPE WILL MEET OR EXCEED THE ORDINANCE. SEE SITE PLAN FOR PROPOSED LOCATIONS.
- SIGNAGE**
 - A. SIGNS ON THE BUILDING WILL MEET THE SIZE AND LIMITS OF THE ORDINANCE. MISCELLANEOUS SMALL SIGNS ON SITE, AS ALLOWED BY THE ORDINANCE, WILL BE UTILIZED FOR DIRECTIONS. RESTRICTIONS, AND WAYFINDING. MONUMENT SIGNAGE MAY BE INCORPORATED INTO THE CLOCK ELEMENT IF APPROVED BY THE TOWN. MAY BE A FREESTANDING MONUMENT SIGN TO THE EXTENT ALLOWED BY THE ORDINANCE.

LEGEND

EXISTING SIGN	EXISTING CURB AND GUTTER
PROPOSED SIGN	PROPOSED CURB AND GUTTER
EXISTING IRON PIN	PROPERTY LINE
EXISTING LIGHT POLE	EXISTING FENCE
EXISTING UTILITY POLE	PROPOSED FENCE
R/W	EXISTING OVERHEAD UTILITY LINE
HC	STANDARD DUTY ASPHALT PAVEMENT
ACCESSIBLE SPACE	HEAVY DUTY ASPHALT PAVEMENT
EXISTING TREE TO REMAIN	VEHICULAR CONCRETE PAVEMENT
EXISTING FIRE HYDRANT	ACCESSIBLE RAMP
# OF PARKING SPACES	PROPOSED SHOE BOX LIGHT
CENTERLINE	PROPOSED DECORATIVE LIGHT
PROPOSED LARGE MATURING TREE	



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Hyundai of South Charlotte
10518 Cadillac Street
Pineville, North Carolina

Project No: 17000070.02
Date: 05.04.2020

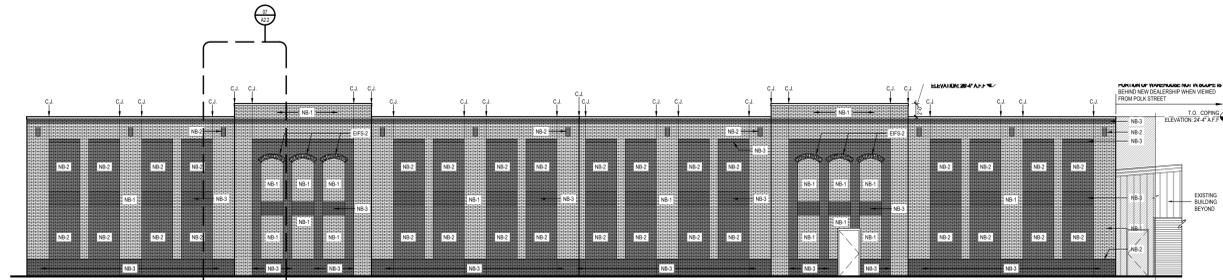
Revisions:

Sheet Title:
Conditional Use Plan

Sheet No:
C001

ABBREVIATIONS	
A.F.F.	ABOVE FINISHED FLOOR
A.F.S.	ABOVE FLOOR SLAB
A.C.T.	ACoustICAL CEILING TILE
ALUM.	ALUMINUM
APPROX.	APPROXIMATELY
B.O.	BOTTOM OF
BRG.	BEARING
CP.	CARPET
C.B.	CEMENT BOARD
C.T.	CERAMIC TILE
C.O.	CLEAN OUT
CONC.	CONCRETE
C.M.A.	CONCRETE MASONRY UNIT
CONT.	CONTINUOUS
C.J.	CONTROL JOINT
C.M.	CULTURED MARBLE
DIAM.	DIAMETER
DNW.	DOWN SPOT
DRWG.	DRAWING
E.I.F.S.	EXTERIOR INSULATION FINISH SYSTEM
E.W.C.	ELECTRIC WATER COOLER
EXP.	EXPOSED
E.J.	EXPANSION JOINT
F.E.	FIRE EXTINGUISHER
F.E.C.	FIRE EXTINGUISHER CABINET
F.D.	FLOOR DRAIN
F.R.T.	FIRE RETARDANT TREATED
FRG.	FRONTING
GA.	GAUGE
G.W.B.	Gypsum WALL BOARD
LB.	POUND
LT.	LIGHT
NO.	NUMBER
NOM.	NOMINAL
MED.	MEDICAL
MFGS.	MANUFACTURERS
M.O.	MASONRY OPENING
M.R.W.B.	MORTAR RESISTANT G.W.B.
MTL.	METAL
O.C.	ON CENTER
OVHNG.	OVERHANG
OPP.	OPPOSITE
P.J.	PAINT JOINT
PLAM.	PLASTIC LAMINATE
P.C.	PAINT COLOR
POLY.	POLYETHYLENE
P.	PRINTED
P.T.	PRESSURE TREATED
P.V.A.	POLYVINYL CHLORIDE
REIN.	REINFORCING/REINFORCING
R.D.	ROOF DRAIN
R.L.	ROOF LEAK
R.O.	ROOF OPENING
S.C.	SEALED CONCRETE
SM.	SIMILAR
S.S.M.	SOLID SURFACE MATERIAL
SQ.	SQUARE
S.S.	STAINLESS STEEL
STRUCT.	STRUCTURAL
STL.	STEEL
T.O.	TOP OF
T.O.M.	TOP OF MASONRY
T.P.O.	THERMOPLASTIC POLYOLEFIN
T.S.	TUBE STEEL
TYP.	TYPICAL
UNCL.	UNLESS NOTED OTHERWISE
VERT.	VERTICAL
V.C.T.	VINYL COMPOSITION TILE

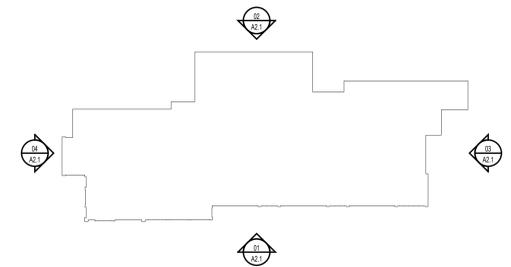
EXTERIOR MATERIAL LEGEND	
NEW DEALERSHIP MATERIALS	
	ACM-1 SHAPED SKY ALUMINUM COMPOSITE CLADDING COMPLETE ACM RAIN SCREEN SYSTEM, BLACK W/ SHAPED DRY PANEL OVERLAY, HYUNDAI NORTH AMERICA BRONZE
	ACM-3 EXTERIOR ALUMINUM COMPOSITE CLADDING COMPLETE ACM RAIN SCREEN SYSTEM, HYUNDAI NORTH AMERICA BRONZE
	BR-1 FIELD BRICK (MODULAR SIZE)
	BR-2 ACCENT BRICK (MODULAR SIZE) CAROLINA COLLECTION, #739 "DARK PALOMINO RIPPLE", STANDARD MORTAR COLOR
	EFS-1 EXTERIOR INSULATION FINISH SYSTEM DRYVIT, "SANDPEBBLE FINE" TEXTURE, CUSTOM COLOR
WAREHOUSE FACADE MATERIALS	
	NB-1 FIELD BRICK (MODULAR SIZE) DRYVIT, "NEW BRICK" LIGHTWEIGHT INSULATED BRICK PRODUCT, TEXTURE AND COLOR TO MATCH "BR-1" TO BEST EXTENT POSSIBLE
	NB-2 ACCENT BRICK (MODULAR SIZE) DRYVIT, "NEW BRICK" LIGHTWEIGHT INSULATED BRICK PRODUCT, TEXTURE SAME AS "NB-3", COLOR TO BE SHADE LIGHTER THAN NB-3
	NB-3 ACCENT BRICK (MODULAR SIZE) DRYVIT, "NEW BRICK" LIGHTWEIGHT INSULATED BRICK PRODUCT, TEXTURE AND COLOR TO MATCH "BR-2" TO BEST EXTENT POSSIBLE
	EFS-2 EXTERIOR INSULATION FINISH SYSTEM DRYVIT, "SANDPEBBLE FINE" TEXTURE, CUSTOM COLOR TO MATCH "NB-3" COLOR



05 - EXTERIOR ELEVATION (FACADE FACING POLK STREET)

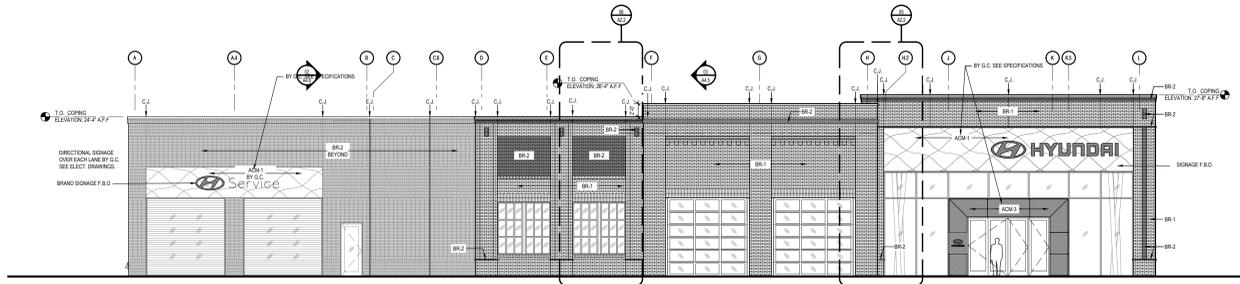
EXISTING WAREHOUSE FACADE CLAD IN NEW MATERIAL. FACADE SET BACK FROM PROPERTY LINE APPROX 200 FT

SCALE: 3/32" = 1'-0"



KEY PLAN

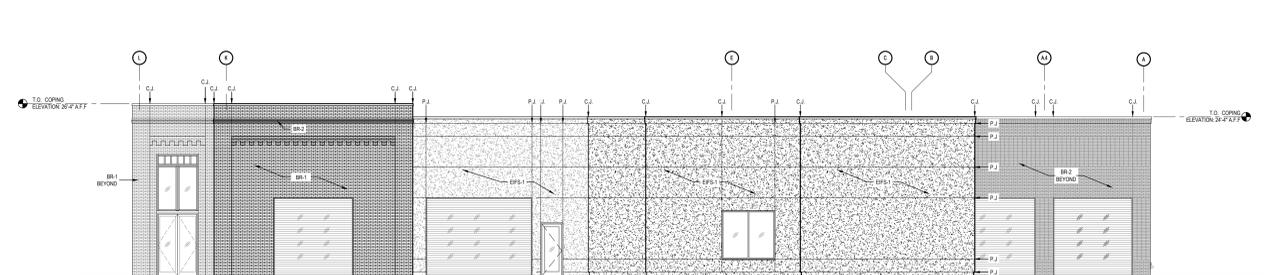
SCALE: 1/64" = 1'-0"



04 - EXTERIOR ELEVATION (SOUTH WEST)

NEW DEALERSHIP

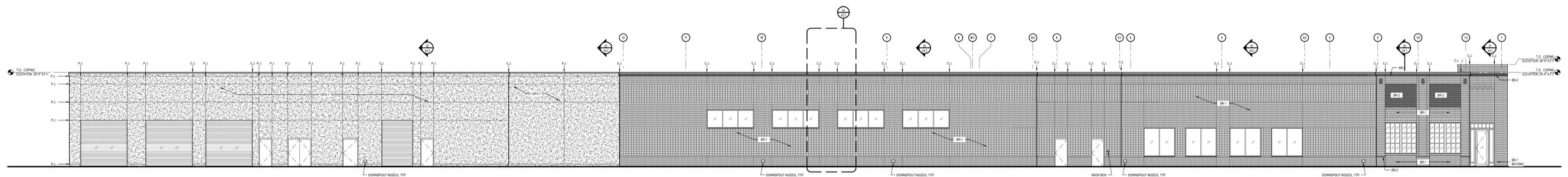
SCALE: 3/32" = 1'-0"



03 - EXTERIOR ELEVATION (NORTH EAST)

NEW DEALERSHIP

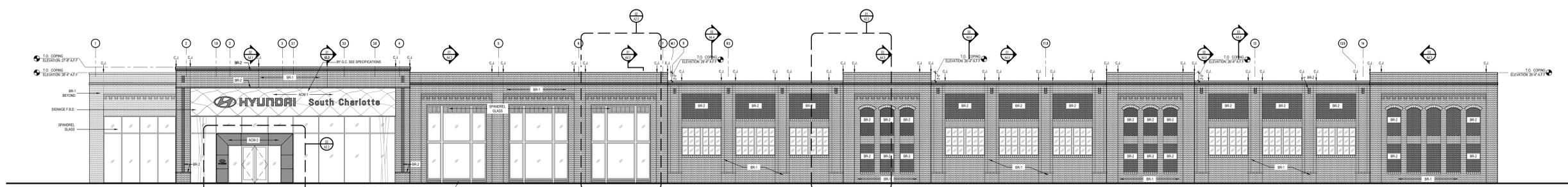
SCALE: 3/32" = 1'-0"



02 - EXTERIOR ELEVATION (NORTH WEST)

NEW DEALERSHIP

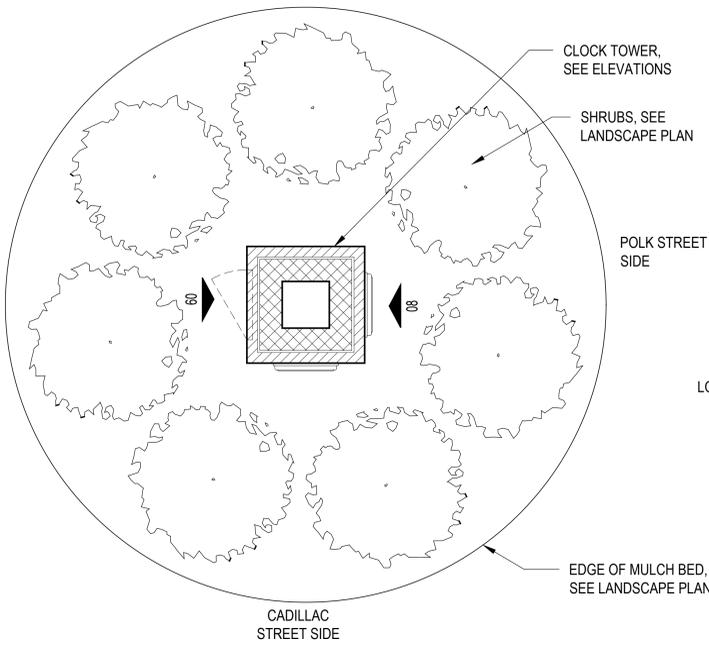
FACING BACK OF SITE SCALE: 3/32" = 1'-0"



01 - EXTERIOR ELEVATION (SOUTH EAST)

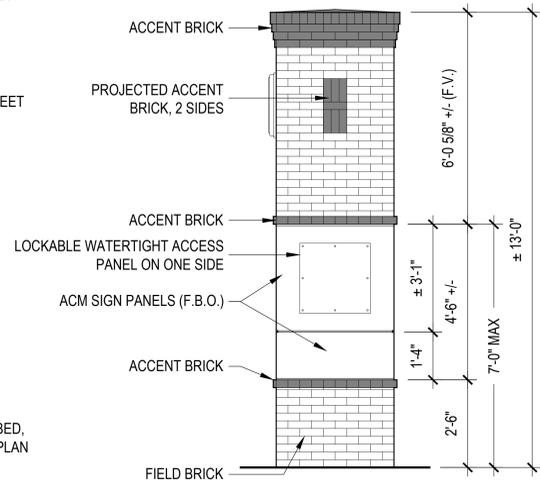
NEW DEALERSHIP

FACING POLK STREET SCALE: 3/32" = 1'-0"



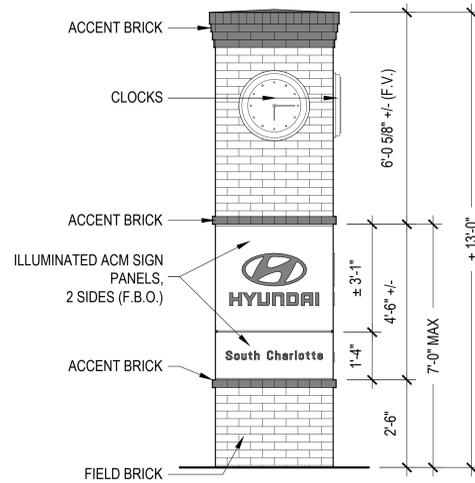
10 - ENLARGED SITE PLAN

CLOCK TOWER AND SHRUBS SCALE: 1/2" = 1'-0"



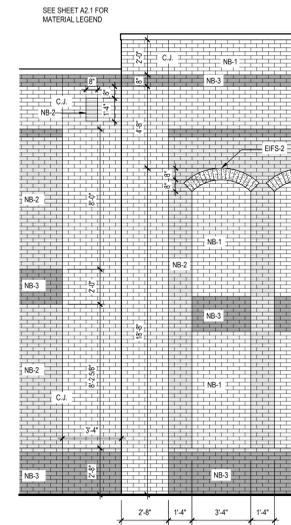
09 - ENLARGED ELEVATION

CLOCK TOWER REAR SCALE: 1/2" = 1'-0"



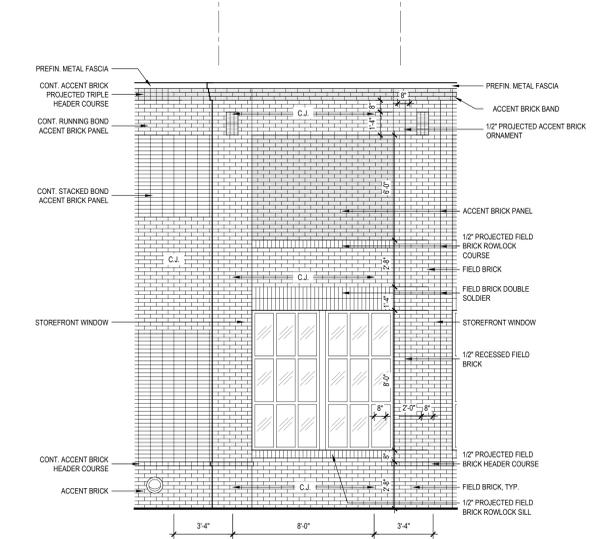
08 - ENLARGED ELEVATION

CLOCK TOWER FRONT SCALE: 1/2" = 1'-0"



07 - ENLARGED ELEVATION

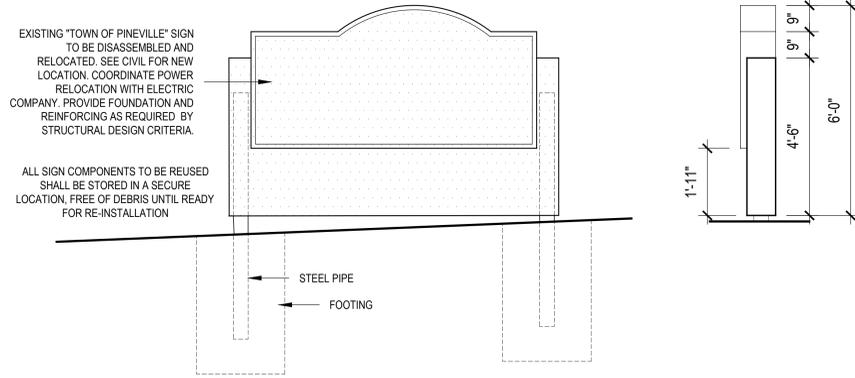
SCALE: 1/4" = 1'-0"



06 - ENLARGED ELEVATION

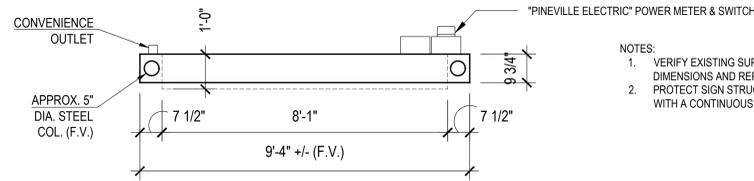
SCALE: 1/4" = 1'-0"

SIGN RELOCATION STRUCTURAL DESIGN CRITERIA
 USE A 30" DIAMETER 1'-0" DEEP CAISSON TYPE FOOTING REINFORCED W/ 6 #5 VERTICALS W/ #3 ROUND TIES @ 8" O.C. FOR THE STEEL PIPE SUPPORT TO BE EMBEDDED.
 PIPE COLUMN SHALL EXTEND DOWN A MIN. OF 3'-0".
 GEOTECHNICAL ENGINEER TO VERIFY SOILS IN NEW LOCATION AS HAVING LATERAL RESISTANCE IN THE UPPER 4'-0" FOR THE CAISSON LATERAL DEFLECTION CRITERIA.

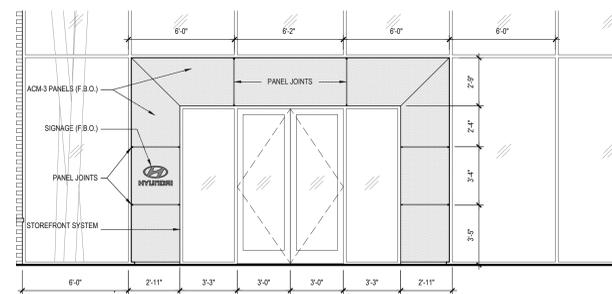


11 - RELOCATION OF EXISTING TOWN SIGN

EXISTING TOWN SIGN SCALE: 1/2" = 1'-0"

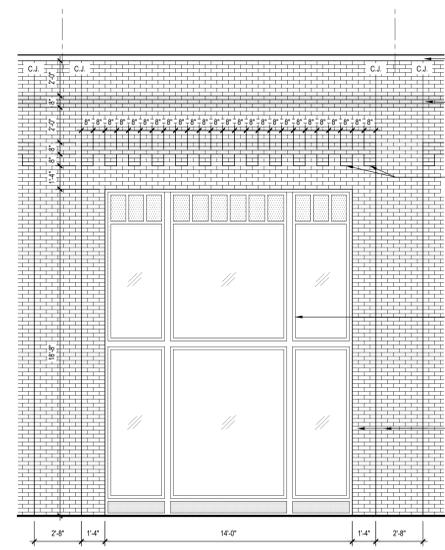


NOTES:
 1. VERIFY EXISTING SUPPORTING COLUMNS LOCATION AND DIMENSIONS AND REPLICATE ON NEW LOCATION
 2. PROTECT SIGN STRUCTURE FROM LANDSCAPING SOIL AND ROOTS WITH A CONTINUOUS GEOTEXTILE UNDERLAYMENT.



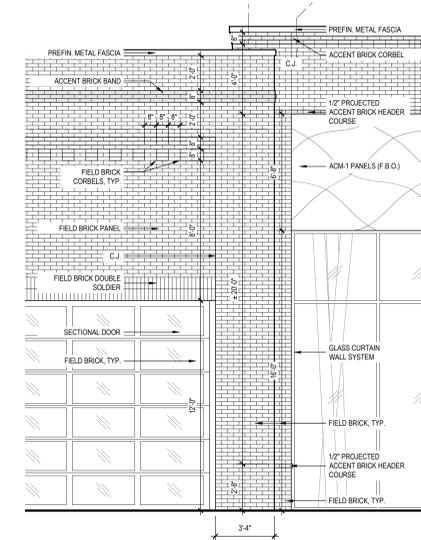
03 - ENLARGED ELEVATION

SCALE: 1/4" = 1'-0"



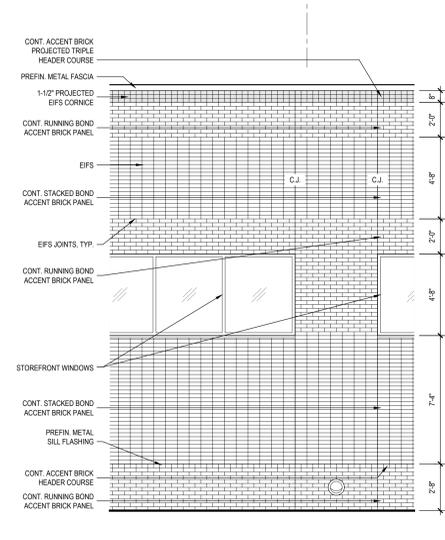
02 - ENLARGED ELEVATION

SCALE: 1/4" = 1'-0"



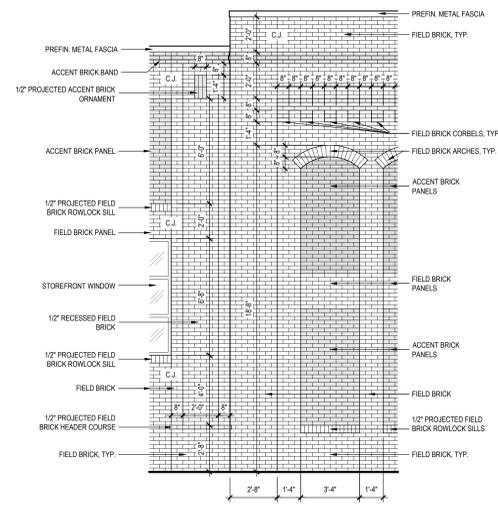
05 - ENLARGED ELEVATION

SCALE: 1/4" = 1'-0"



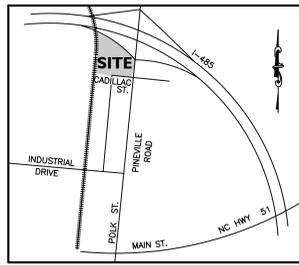
04 - ENLARGED ELEVATION

SCALE: 1/4" = 1'-0"



01 - ENLARGED ELEVATION

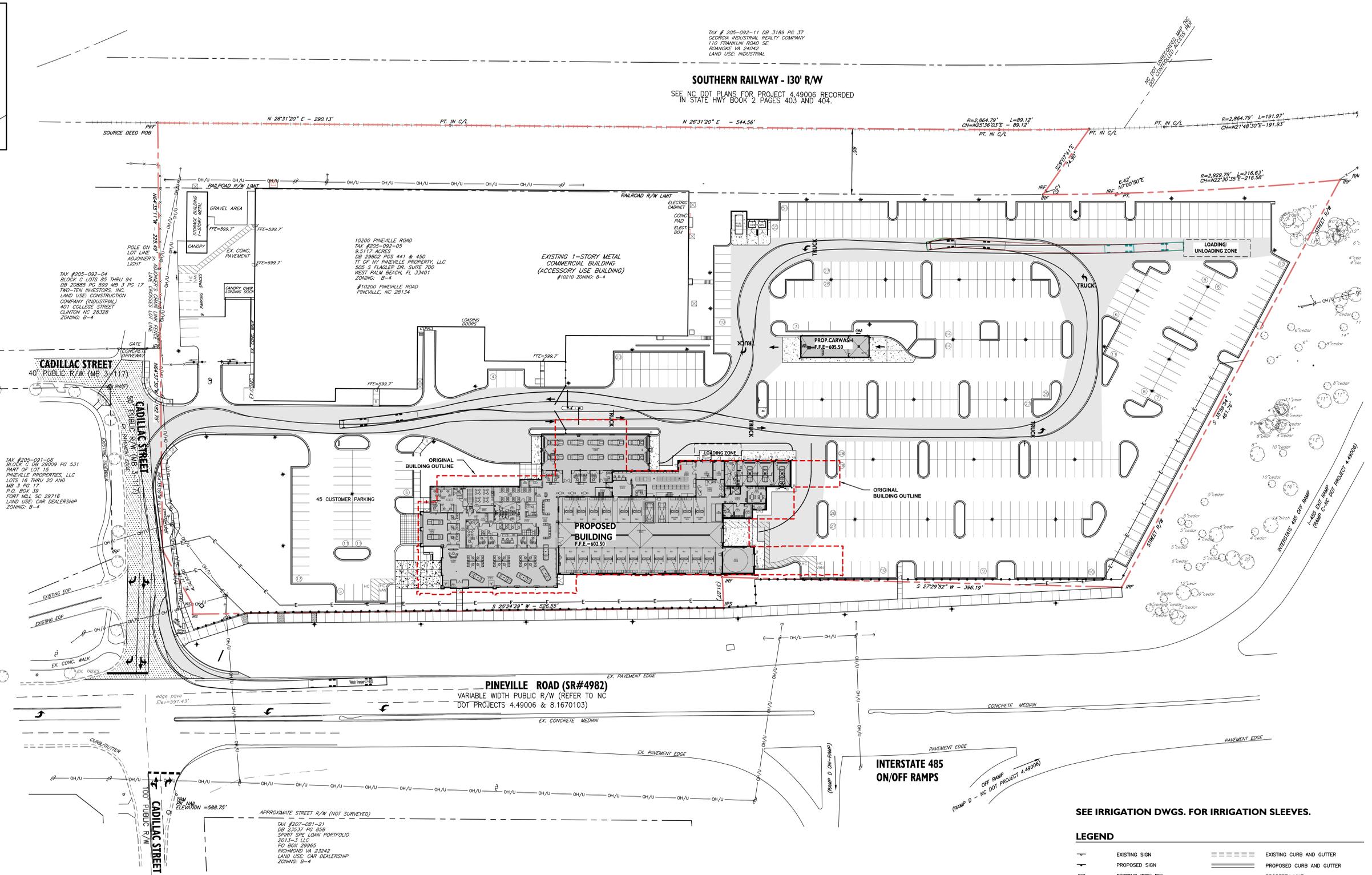
SCALE: 1/4" = 1'-0"



VICINITY MAP
NTS

TAX # 205-092-11 DB 3189 PG 37
GEORGIA INDUSTRIAL REALTY COMPANY
110 FRANKLIN ROAD, SE
ROANOKE VA 24042
LAND USE: INDUSTRIAL

SOUTHERN RAILWAY - 130' R/W
SEE NC DOT PLANS FOR PROJECT 4.49006 RECORDED
IN STATE HWY BOOK 2 PAGES 403 AND 404.



TAX #205-092-04
BLOCK C LOTS 85 THRU 94
DB 20885 PG 599 MB 3 PG 17
TWO-TEN INVESTORS, INC.
LAND USE: CONSTRUCTION
COMPANY (INDUSTRIAL)
401 COLLEGE STREET
CLINTON NC 28328
ZONING: B-4

10200 PINEVILLE ROAD
TAX #205-092-05
9.5117 ACRES
DB 29902 PGS 441 & 430
TT OF 111 PINEVILLE PROPERTY, LLC
505 S FLAGLER DR. SUITE 700
WEST PALM BEACH, FL 33401
ZONING: B-4
#10200 PINEVILLE ROAD
PINEVILLE, NC 28134

TAX #205-091-06
BLOCK C DB 19009 PG 531
PART OF LOT 15
PINEVILLE PROPERTIES, LLC
LOTS 16 THRU 20 AND
MB 3 PG 17
P.O. BOX 39
FORT MILL SC 29716
LAND USE: CAR DEALERSHIP
ZONING: B-4

PINEVILLE ROAD (SR#4982)
VARIABLE WIDTH PUBLIC R/W (REFER TO NC
DOT PROJECTS 4.49006 & 8.1670103)

INTERSTATE 485
ON/OFF RAMPS

SEE IRRIGATION DWGS. FOR IRRIGATION SLEEVES.

LEGEND

—	EXISTING SIGN	=====	EXISTING CURB AND GUTTER
- - -	PROPOSED SIGN	=====	PROPOSED CURB AND GUTTER
⊙	EXISTING IRON PIN	---	PROPERTY LINE
⊙	EXISTING LIGHT POLE	- - - - -	EXISTING FENCE
⊙	EXISTING UTILITY POLE	—●—	PROPOSED FENCE
R/W	RIGHT-OF-WAY	—●—	EXISTING OVERHEAD UTILITY LINE
HC	ACCESSIBLE SPACE	▨	ASPHALT OVERLAY
⊙	EXISTING TREE TO REMAIN	▨	STANDARD DUTY ASPHALT PAVEMENT
⊙	EXISTING FIRE HYDRANT	▨	HEAVY DUTY ASPHALT PAVEMENT
⊙	# OF PARKING SPACES	▨	VEHICULAR CONCRETE PAVEMENT
⊙	CENTERLINE	R	ACCESSIBLE RAMP
⊙	PROPOSED BOLLARD	+	PROPOSED SITE LIGHTING
⊙	PROPOSED GAS METER		



Seals:



Corp. NC License: F-1320

Hyundai of South Charlotte
10518 Cadillac Street
Pineville, North Carolina

Project No: 17000070.02
Date: 05.04.2020
Revisions:

Sheet Title:
Building Area Comparison

Sheet No:
C002

