



AGENDA

CALL TO ORDER

DISCUSSION ITEMS

- 1. Conditional Zoning Request for Ipex** (*Travis Morgan*) - Ipex will be presenting plans for an expansion of their existing manufacturing use. **(INFORMATIONAL)**.
- 2. Beacon Development** (*Travis Morgan*) - request to consider revisions to their previously approved plan for Pineville Logistics Center.
- 3. Discussion to increase Town Code Fines to \$50** (*Travis Morgan*) - If all Town Code fines were increased to \$50, the Debt Setoff Program could be utilized to collect any unpaid fines.
- 4. Consideration of Property Options for New Fire Station** (*Ryan Spitzer*) - Council to discuss and consider additional property options for location of new fire station.

ADJOURN

If you require any type of reasonable accommodation as a result of physical, sensory, or mental disability in order to participate in this meeting, please contact Barbara Monticello, Clerk of Council, at 704-889-2291 or bmonticello@pinevillenc.gov. Three days' notice is required.

Join Zoom Meeting:

<https://us02web.zoom.us/j/88112625504?pwd=OTMyTFI5SjFCWXBoejFiUmXLWnJkZz09>

Meeting ID: 881 1262 5504

Passcode: 457772

One tap mobile:

+13017158592,,88112625504#,,,,*457772# US (Washington DC)

+13126266799,,88112625504#,,,,*457772# US (Chicago)

Dial by your location:

+1 301 715 8592 US (Washington DC)

+1 312 626 6799 US (Chicago)

+1 646 558 8656 US (New York)

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

+1 669 900 9128 US (San Jose)

Meeting ID: 881 1262 5504

Passcode: 457772

Find your local number: <https://us02web.zoom.us/j/88112625504>

Workshop Meeting

Pineville

PLANNING & ZONING

To: Town Council

From: Travis Morgan

Date: 3/22/2021

Re: 10320 Rodney Street (IPEX expansion)

REQUEST:

Ipex would like to add 10320 Rodney into the exiting conditionally approved properties. The proposal is to remove the existing 140,030 square foot building at 10320 and replace with a new larger 180,200 square foot building (+40,170 net square feet) to provide additional PVC pipe manufacturing, associated uses, rebuild front yard employee parking, and allow heights in excess of 50 feet.

BACKGROUND INFORMATION:

The proposed use is manufactured goods class 2. That use is conditionally approved only. Any conditional plan must first come before Pineville Town Council for approval and for any modifications. You may recall the last expansion Ipex did January 2020 for the West storage yard. This proposal would include all four Ipex owned properties. Staff recommends allowing a provision to add 10230 Rodney into the approval should they acquire that in the future so long as street improvements there are made.

SITE INFORMATION:

10100 Rodney:

(Main building)

11 acres

Building 1: 133,628 sqft

Building 2: 16,375 sqft

Building 3: 10,500 sqft

Building 4: 1,350 sqft

Building 5: 240 sqft

Building 6: 3,596 sqft

9919 Industrial:

(West storage lot)

10.707 acres

No address:

(Rear storage lot)

3.085 acres

10320 Rodney:

(South building)

7.886 acres

140,030 sqft existing removed

180,200 sqft proposed

Total Acreage: 32.678 acres

Total Square Feet Building: 345,889

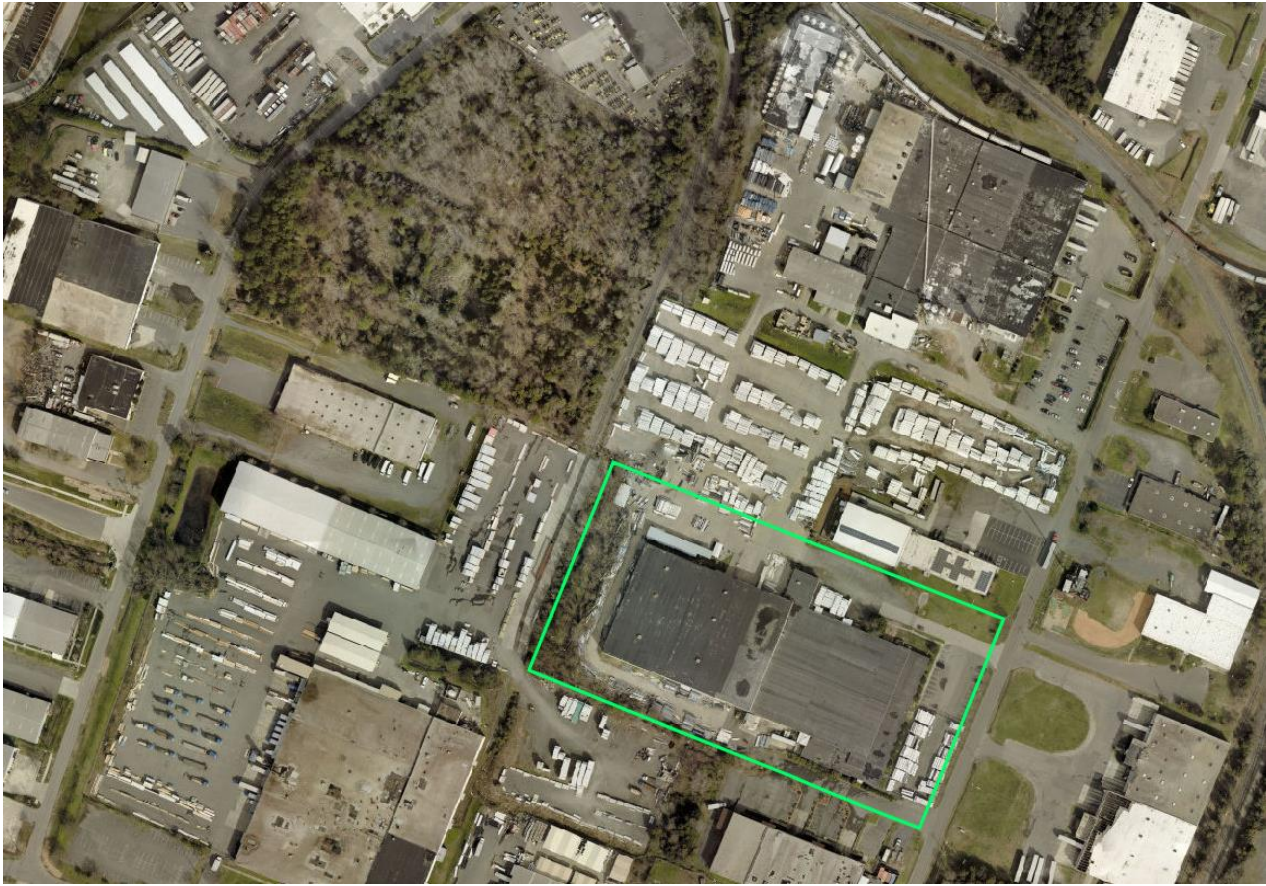
Height: Buildings 55'

One 2001 Council approved silo 77'

Proposed all other limited to 65'

STAFF COMMENT:

The proposal is a net gain to the property of 40,030. The Ordinance does not require a traffic study for this amount. Staff recommends rounding up to an even square feet number to allow some future flexibility such as up to 355,000 square feet building entitlement plus possible additional parcel. Staff would recommend the proposal meet all standard zoning and landscape items. Applicant request special consideration to allow rebuilt front yard parking. Staff recommends to clarify employee passenger cars only if this is to be considered. Staff recommends proper right of way dedication if needed to confirm the Rodney Street 60 foot right of way and ensure sidewalk is within that or public easement. Staff does not object to the height so long as a note commitment about no overly loud or high-pitched sound to reach any residential development.



Expansion property 10320 Rodney above in green. Total Ipex property proposal below in red.



Office Use Only:

Application #:

Payment Method: Cash___ Check___ Credit Card X Amount \$_____ Date Paid_____

Zoning Application

Note: Application will not be considered until all required submittal components listed have been completed

Applicant's Name: IPEX USA, LLC. - Shawn White Phone: (704) 889-2431
Applicant's Mailing Address: 10100 Rodney Street, Pineville, NC 28134

Property Information:

Property Location: 10320 Rodney Street, Pineville, NC 28134
Property Owner's Mailing Address: 3 Place du Commerce, Bureau 101, Ile des soeurs, Verdun, QC H3E 1H7
Property Owner Name: IPEX USA, LLC Phone: (514) 769-2200 Ext 20347
Tax Map and Parcel Number: 20509303 Existing Zoning: General Industrial (G-I)

Which are you applying (Check all that apply):

Rezoning by Right _____ Conditional Zoning X Conditional Rezoning _____ Text Amendment _____

Fill out section(s) that apply:


Rezoning by Right:
Proposed Rezoning Designation N/A

Conditional Zoning:
Proposed Conditional Use Industrial / Manufacturing
Acreage +/- 7.9 Acres Square Feet 200,000 SF Approximate Height 55' # of Rooms N/A
Parking Spaces Required 45 Parking Spaces Provided 107 ****Please Attach Site Specific Conditional Plan**

Conditional Rezoning:
Proposed Conditional Rezoning Designation N/A

Text Amendment:
Section N/A Reason N/A
Proposed Text Change (Attach if needed) N/A

I do hereby certify that all information which I have provided for this application is, to the best of my knowledge, correct.


Signature of Applicant

3-15-21
Date

Signature of Property Owner (If not Applicant)

Date

Signature of Town Official

Date

CONDITIONAL ZONING SUBMITTAL FOR IPEX NEW PRODUCTION BUILDING

10320 RODNEY STREET, PINEVILLE, NC 28134



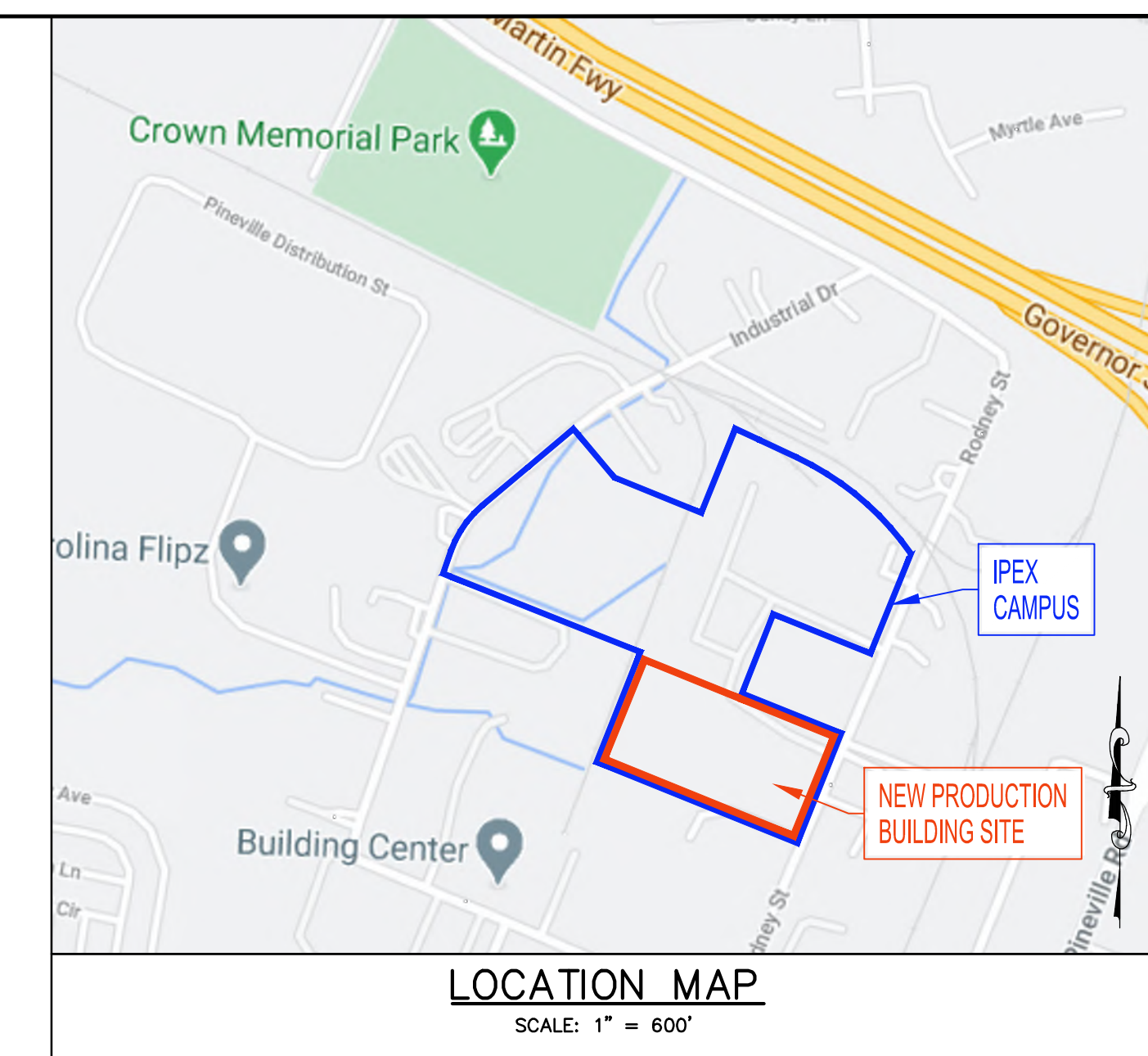
CONTEXTUAL MAP
SCALE: 1" = 250'



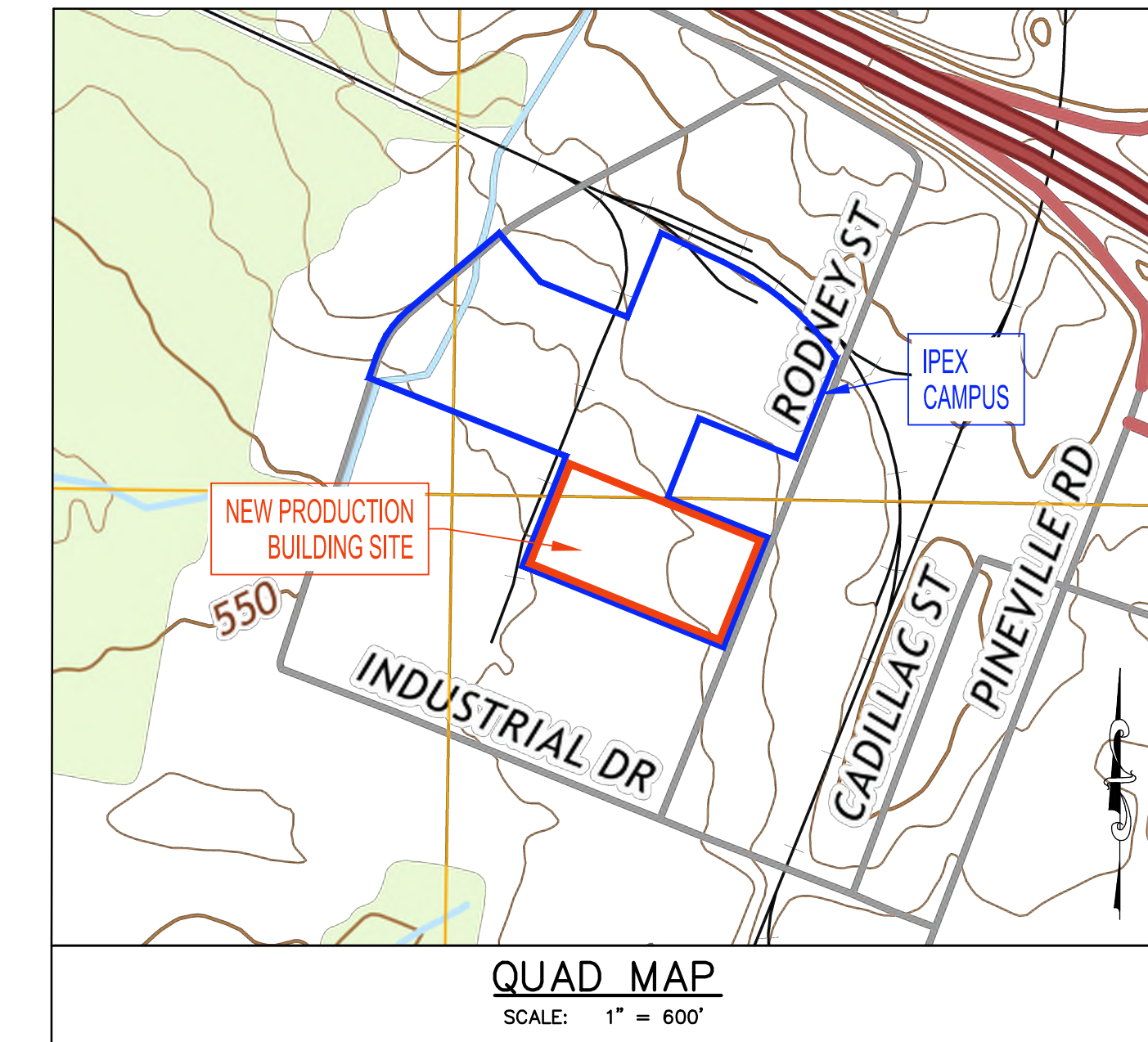
AERIAL PHOTOGRAPH
SCALE: 1" = 70'

ZONING CODE SUMMARY			
PROJECT NAME	IPEX NEW PRODUCTION BUILDING	ADDRESS	10320 RODNEY STREET
OWNER	IPEX USA, LLC		
PLANS PREPARED BY	ADC ENGINEERING, INC.		
ZONING	GENERAL INDUSTRIAL (G-I)	JURISDICTION	PINEVILLE
PROPOSED USE	MANUFACTURING		
BUILDING INFORMATION			
MAXIMUM BUILDING HEIGHT	55'		
MAXIMUM SILO HEIGHT	65'		
BUILDING COVERAGE	UP TO 200,000 SF	GROSS FLOOR AREA	UP TO 200,000 SF
LOT SIZE	7.88 ACRES	# OF BUILDINGS	1
YARD/SETBACK REQUIREMENTS			
FRONT	15'		
SIDE	10'		
REAR	10'		
LANDSCAPE BUFFER REQUIREMENTS			
FRONT	0'		
SIDE	0'		
REAR	0'		
OPEN AREA			
PRE-DEVELOPED SITE	1.59	AC	20%
POST-DEVELOPED SITE	1.66	AC	21%
IMPERVIOUS COVERAGE			
PRE-DEVELOPED SITE			
BUILDING	3.27	AC	41%
PAVEMENT	2.94	AC	37%
GRAVEL	0.08	AC	1%
TOTAL	6.29	AC	80%
POST-DEVELOPED SITE			
BUILDING	4.14	AC	53%
PAVEMENT	2.08	AC	26%
TOTAL	6.22	AC	79%

Off-Street Parking Calculations					
Use	Pineville Requirements	Requirement (i.e. square footage, # employees, etc.)		Required	Provided
Manufactured Goods	1 per 4000 Square Feet	X 175,825	=	44	
Office	1 per 350 Square Feet	X 4,375	=	13	
				TOTAL =	57
ADA Parking Requirement					
				Total ADA Parking Spaces =	3
				Van Accessible Spaces =	1
Summary					
				Standard Spaces =	54
				ADA Standard Spaces =	2
				ADA Van Accessible =	1
				TOTAL =	57
Loading Zone Calculations					
Use	Parking Requirement	Requirement (i.e. square footage, # employees, etc.)		Required	Provided
Industrial	3 per 65,000 Square Feet	X 65,000	=	3	
Industrial	1 per 80,000 Square Feet	X 115,200	=	2	
				TOTAL =	5
Bicycle Parking Calculations					
Use	Parking Requirement	Requirement (i.e. square		Required	Provided
Short Term	1 per 50 Parking Space	X 107	=	3	4
				TOTAL =	3
Additional Information					
Total number of vehicle, loading and bicycle parking spaces will depend on the ultimate size of the proposed building and the final parking arrangement.					



LOCATION MAP
SCALE: 1" = 600'

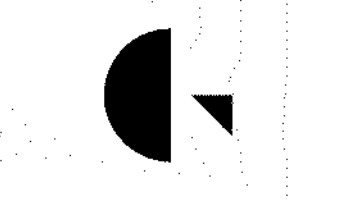
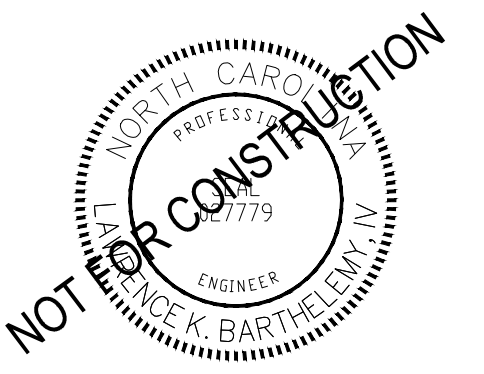


QUAD MAP
SCALE: 1" = 600'

IPEX USA, LLC
Verdun, QC, Canada

NEW PRODUCTION BUILDING

PINEVILLE
NORTH CAROLINA



Gresham Smith
GS-NC P.C.
An Affiliate of Gresham Smith
GreshamSmith.com
201 South College Street
Suite 1950
Charlotte, NC 28244
704.944.7970

ADC ENGINEERING
25 WOODS LAKE ROAD, SUITE 210
GREENVILLE, SC 29607
864-751-9121
ADCENGINEERING.COM
NC COA # C-1572



DATE: 03/16/2021
ADC PROJECT #: 21002
DESIGNED: LKB
CHECKED: LKB
DRAWN: LKB
REVISION:

CIVIL COVER SHEET

APPLICANT
IPEX INDUSTRIAL, INC.
10100 RODNEY STREET
PINEVILLE, NC 28134
SHAWN WHITE
(704) 889-2431 TELEPHONE

ENGINEER
ADC ENGINEERING, INC.
25 WOODS LAKE ROAD,
SUITE 210
GREENVILLE, SC 29607
LARRY BARTHELEMY, IV, PE
(864) 751-9122 TELEPHONE

ARCHITECT
GRESHAM SMITH
201 S. COLLEGE STREET
SUITE 1950
CHARLOTTE, NC 28244
GARRET LUKENS, AIA
(704) 216-1587 TELEPHONE



BIRDSEYE LOOKING NORTH



BIRDSEYE LOOKING SOUTH



BIRDSEYE LOOKING WEST

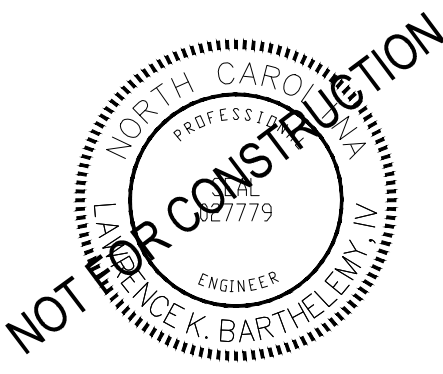


BIRDSEYE LOOKING EAST

IPEX USA, LLC
Verdun, QC, Canada

NEW PRODUCTION BUILDING

PINEVILLE
NORTH CAROLINA



GreshamSmith.com
201 South College Street
Suite 1950
Charlotte, NC 28244
704.944.7970



DATE:	09/16/2021
ADC PROJECT #:	21002
DESIGNED:	LKB
CHECKED:	LKB
DRAWN:	LKB
REVISION:	

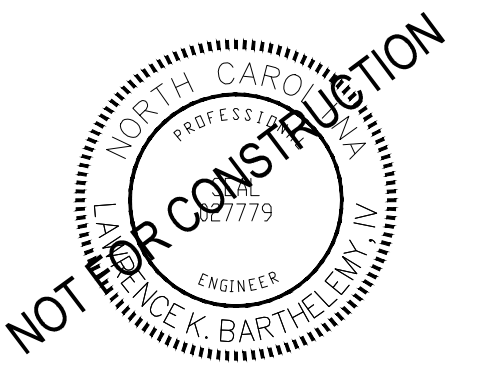
PROJECT AREA
PHOTO PLAN

C002

IPEX, Inc.
Verdun, QC, Canada

NEW PRODUCTION BUILDING
SITE ANALYSIS

PINEVILLE
NORTH CAROLINA



GreshamSmith.com
201 South College Street
Suite 1950
Charlotte, NC 28244
704.944.7970



DATE:	03/08/2021
ADC PROJECT #:	21002
DESIGNED:	LKB
CHECKED:	LKB
DRAWN:	LKB
REVISION:	

OVERALL
SITE PLAN

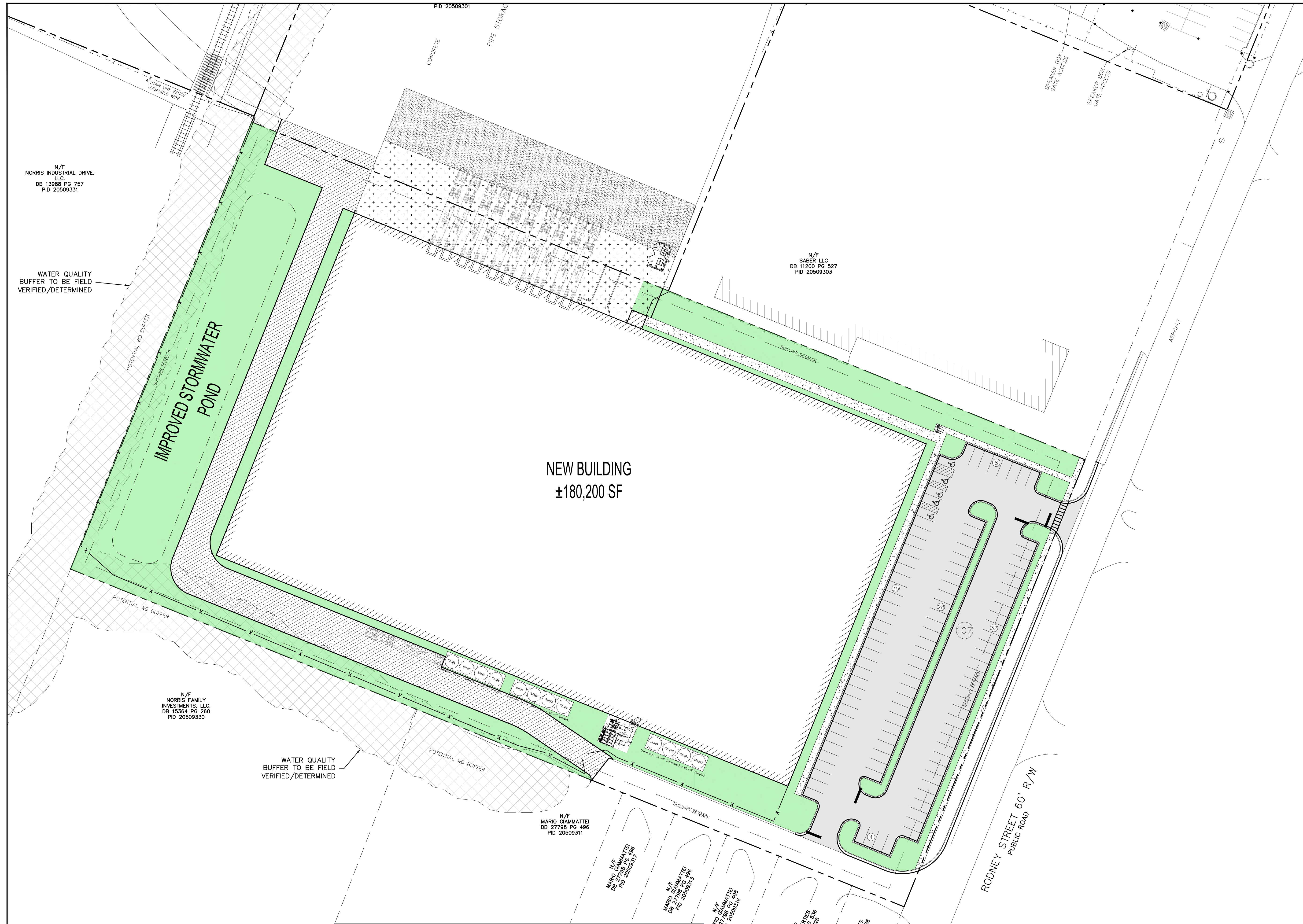
C200

- GENERAL PROVISIONS**
 - SITE LOCATION:** THESE DEVELOPMENT STANDARDS AND CONCEPTUAL SITE PLANS FORM THE CONDITIONAL USE/SITE PLAN FOR IPEX'S NEW PRODUCTION BUILDING PROJECT LOCATED ON PARCEL 20509303.
 - ZONING DISTRICTS/ORDINANCE:** DEVELOPMENT OF THE SITE WILL BE GOVERNED BY THE CONDITIONAL SITE PLAN AS WELL AS THE APPLICABLE PROVISIONS OF THE TOWN OF PINEVILLE ZONING ORDINANCE (ORDINANCE) DATED FEBRUARY 12, 2019.
 - GRAPHICS AND ALTERATIONS:** THE SCHEMATIC DEPICTIONS OF THE USES, PARKING AREAS, SIDEWALKS, STRUCTURES AND BUILDINGS, DRIVEWAYS, STREETS AND OTHER DEVELOPMENT MATTERS AND SITE ELEMENTS (COLLECTIVELY THE "DEVELOPMENT/SITE ELEMENTS") SET FORTH ON THE CONDITIONAL SITE PLAN SHOULD BE REVIEWED IN CONJUNCTION WITH THE PROVISIONS OF THESE DEVELOPMENT STANDARDS. THE LAYOUT, LOCATIONS, SIZES AND FORMULATIONS OF THE DEVELOPMENT/SITE ELEMENTS DEPICTED ON THE CONDITIONAL SITE PLAN ARE GRAPHIC REPRESENTATIONS OF THE DEVELOPMENT/SITE ELEMENTS PROPOSED.

SINCE THE PROJECT HAS NOT UNDERGONE THE DESIGN DEVELOPMENT OR CONSTRUCTION DOCUMENT PHASES, IT IS INTENDED THAT THIS CONDITIONAL USE PLAN PROVIDE FOR FLEXIBILITY IN ALLOWING SOME ALTERATIONS OR MODIFICATIONS FROM THE GRAPHIC REPRESENTATIONS OF THE CONCEPT SITE PLANS. MINOR MODIFICATIONS TO THE SITE PLANS WILL BE ALLOWED WITHOUT REQUIRING THE ADMINISTRATIVE AMENDMENT PROCESS.

THE PLANNING DIRECTOR WILL DETERMINE IF SUCH MINOR MODIFICATIONS ARE ALLOWED PER THIS AMENDED PROCESS. IF IT IS DETERMINED THAT THE ALTERATION DOES NOT MEET THE CRITERIA ABOVE, THE PETITIONER SHALL THEN FOLLOW THE ADMINISTRATIVE AMENDMENT PROCESS.

 - NUMBER OF BUILDINGS PRINCIPAL AND ACCESSORY:** THE TOTAL NUMBER OF PRINCIPAL BUILDINGS TO BE DEVELOPED ON THE SITE SHALL NOT EXCEED 4. ACCESSORY BUILDINGS AND STRUCTURES LOCATED ON THE SITE SHALL NOT BE CONSIDERED IN ANY LIMITATION ON THE NUMBER OF BUILDINGS ON THE SITE. ACCESSORY BUILDINGS AND STRUCTURES WILL BE CONSTRUCTED UTILIZING SIMILAR BUILDING MATERIALS, COLORS, ARCHITECTURAL ELEMENTS AND DESIGNS AS THE PRINCIPAL BUILDING LOCATED ON THE SITE. ACCESSORY STRUCTURES AND BUILDINGS INCLUDE STRUCTURES AND BUILDINGS SUCH AS BUT NOT LIMITED TO: DUMPSTER ENCLOSURES, GAZEBOS, STORAGE BUILDINGS, SILOS OR OTHER EXTERIOR EQUIPMENT.
- ADDITIONAL PROVISIONS:** IN THE EVENT PARCEL 20509304 IS ACQUIRED BY IPEX, PARCEL 20509304 WILL BE GOVERNED BY THIS CONDITIONAL USE PERMIT AND WILL BE ZONED FOR THE USES PROPOSED.
- PERMITTED USES & DEVELOPMENT AREA LIMITATION**
 - ALL USES ALLOWED BY RIGHT IN THE G-1 ZONING DISTRICT.
 - OUTDOOR STORAGE IS PERMITTED AS AN ACCESSORY USE AND WILL BE FULLY SCREENED FROM THE PUBLIC STREETS.
- ENVIRONMENTAL FEATURES:**
 - THE PETITIONER SHALL COMPLY WITH THE TOWN OF PINEVILLE APPROVED AND ADOPTED POST CONSTRUCTION CONTROLS ORDINANCE.
 - THE LOCATION, SIZE AND TYPE OF STORM WATER MANAGEMENT SYSTEMS DEPICTED ON THE CONDITIONAL SITE PLAN ARE SUBJECT TO REVIEW AND APPROVAL AS PART OF THE FULL DEVELOPMENT PLAN SUBMITTAL AND ARE NOT IMPLICITLY APPROVED WITH THIS REZONING. ADJUSTMENTS MAY BE NECESSARY IN ORDER TO ACCOMMODATE ACTUAL STORM WATER TREATMENT REQUIREMENTS AND NATURAL SITE DISCHARGE POINTS.
 - PRESERVATION OF EXISTING TREES AND VEGETATION PER SECTION 7.3.5 IS NOT REQUIRED. THE OWNER WILL PRESERVE TREES WHERE FEASIBLE.
 - DELINEATION OF STREAMS (AND ANY APPLICABLE POST CONSTRUCTION WATER QUALITY BUFFERS) MAY BE COMPLETED ONSITE BY A WETLAND CONSULTANT FOLLOWING SECTION 2.6.2 OF THE ADMINISTRATIVE MANUAL FOR IMPLEMENTATION OF THE POST-CONSTRUCTION STORM WATER ORDINANCE.
 - DEVELOPMENT OF THE PROPERTY MAY REQUIRE THE DISTURBANCE OF POTENTIAL WATER QUALITY BUFFERS THAT MAY EXIST. MITIGATION OF BUFFER DISTURBANCE WILL BE PROVIDED BY ONE (OR MORE) OF THE APPROVED MITIGATION OPTIONS OUTLINED IN SECTION 5.4.3 OF THE CHARLOTTE-MECKLENBURG WATER QUALITY BUFFER IMPLEMENTATION GUIDELINES (SUCH AS THE INSTALLATION OF STRUCTURAL BEST MANAGEMENT PRACTICES, STREAM BUFFER RESTORATION, THE PURCHASE OF MITIGATION CREDITS, ETC.)
 - MAXIMUM CUTFILL SLOPES SHALL BE AS DETERMINED BY A GEOTECHNICAL INVESTIGATION.
 - TRADITIONAL SEGMENTAL BLOCK RETAINING WALLS SHALL BE ALLOWED FOR ALL WALL HEIGHTS.
- OPEN SPACE:**
 - THE PUBLIC USEABLE OPEN SPACE REQUIREMENT PER THE INDUSTRIAL OVERLAY SHALL BE MET WITHIN THE PROPOSED STREETSCAPE IMPROVEMENTS PROVIDED.
- ACCESS AND TRANSPORTATION:**
 - ACCESS TO THE SITE WILL BE FROM RODNEY STREET IN THE MANNER GENERALLY DEPICTED ON THE CONDITIONAL SITE PLAN. ACCESS WILL ALSO CONNECT TO ADJACENT PARCELS OWNED BY THE PETITIONER.
 - STREETSCAPE IMPROVEMENTS SHALL BE PROVIDED AS REQUIRED IN THE INDUSTRIAL OVERLAY; EXCEPT PAVED BIKE LANES ARE NOT REQUIRED AS LONG AS SPACE IS PROVIDED FOR THE LANES TO BE CONSTRUCTED IN THE FUTURE.
 - PARKING BETWEEN THE PRINCIPAL BUILDING AND RODNEY STREET SHALL BE ALLOWED AS LONG AS IT IS SCREENED AS REQUIRED IN THE INDUSTRIAL OVERLAY. PARKING WILL BE ALLOWED TO BE BETWEEN THE PRINCIPAL BUILDING AND RODNEY STREET BECAUSE (1) IT IS CURRENTLY IN FRONT OF THE EXISTING BUILDING (GRANDFATHERED AND CAN BE REBUILT/RECONFIGURED); (2) THE NARROW SHAPE OF THE PARCEL DOES NOT ALLOW FOR PARKING ON THE SIDE OF THE BUILDING AND (3) THIS BUILDING WILL CONNECT TO THE EXISTING IPEX FACILITY TO THE NORTHEAST, WHICH IS WHERE THE LOADING DOCKS NEED TO BE LOCATED. PARKING IN THE REAR OF THE BUILDING WOULD PREVENT THIS CONNECTION AND TRUCK ACCESS.
 - MINIMUM NUMBER OF PARKING SPACES SHALL MEET THE ZONING ORDINANCE.
 - PARKING DIMENSIONS SHALL MEET THE ZONING ORDINANCE.
 - THE CONDITIONAL SITE PLAN SHALL ALLOW FOR FLEXIBILITY IN THE LAYOUT, CONFIGURATION, VEHICULAR CIRCULATION AND OVERALL DESIGN OF THE PARKING AREAS.
 - PEDESTRIAN CROSSWALKS SHALL BE INDICATED WITH PAINTED STRIPING.
 - IF AN APPROVED AUTOMATIC SPRINKLER SYSTEM IS INSTALLED IN THE BUILDING, THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 200' OF ALL PORTIONS OF THE BUILDING.
- SIGNAGE:**
 - AS ALLOWED BY THE G-1 ZONING DISTRICTS.
- ARCHITECTURAL:**
 - MAXIMUM HEIGHT OF THE PRINCIPAL BUILDING SHALL NOT EXCEED 55'.
 - MAXIMUM HEIGHT OF ANCILLARY BUILDINGS/EQUIPMENT (SILOS, ETC.) SHALL BE 65'.
 - IF AN APPROVED AUTOMATIC SPRINKLER SYSTEM IS INSTALLED IN THE BUILDING, THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 200' OF ALL PORTIONS OF THE BUILDING.
 - IF 3 HOUR RATED WALLS ARE PROVIDED, THE NEW BUILDING SHALL BE ALLOWED TO BE WITHIN 40' OF THE PROPERTY LINE.
- AMENDMENTS TO THE CONDITIONAL USE SITE PLAN:**
 - FUTURE AMENDMENTS TO THE CONDITIONAL USE SITE PLAN (INCLUDING THESE DEVELOPMENT STANDARDS) MAY BE APPLIED FOR BY THE PETITIONER (OR PARENT COMPANY) FOR THIS PARCEL AND OTHER PARCELS WITHIN THEIR OWNERSHIP.



NEW BUILDING
±180,200 SF

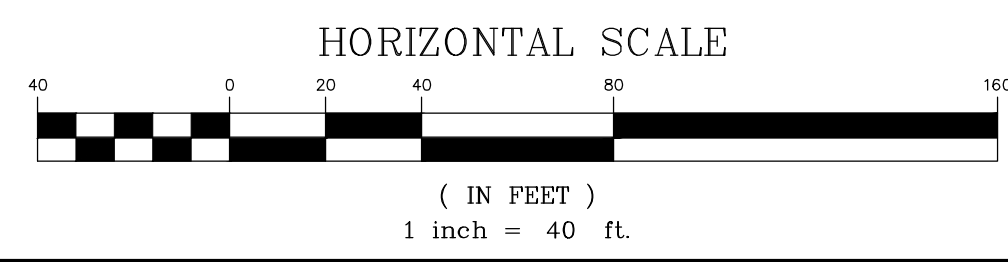
- SITE NOTES:**
- EXISTING CONDITIONS SHOWN ON THESE PLANS ARE BASED ON SITE OBSERVATIONS, AERIAL PHOTOGRAPHS, MECKLENBURG COUNTY GIS DATA AND OLD DESIGN DRAWINGS. A FIELD SURVEY WAS NOT COMPLETED. ALL DRAWINGS SHALL BE CONSIDERED CONCEPTUAL AND SUBJECT TO CHANGE.
 - ALL DIMENSIONS ARE TO FACE OF CURB OR EDGE OF ASPHALT UNLESS OTHERWISE INDICATED.
 - ALL ASPHALT PAVEMENT SHALL MEET NCDOT SPECIFICATIONS.

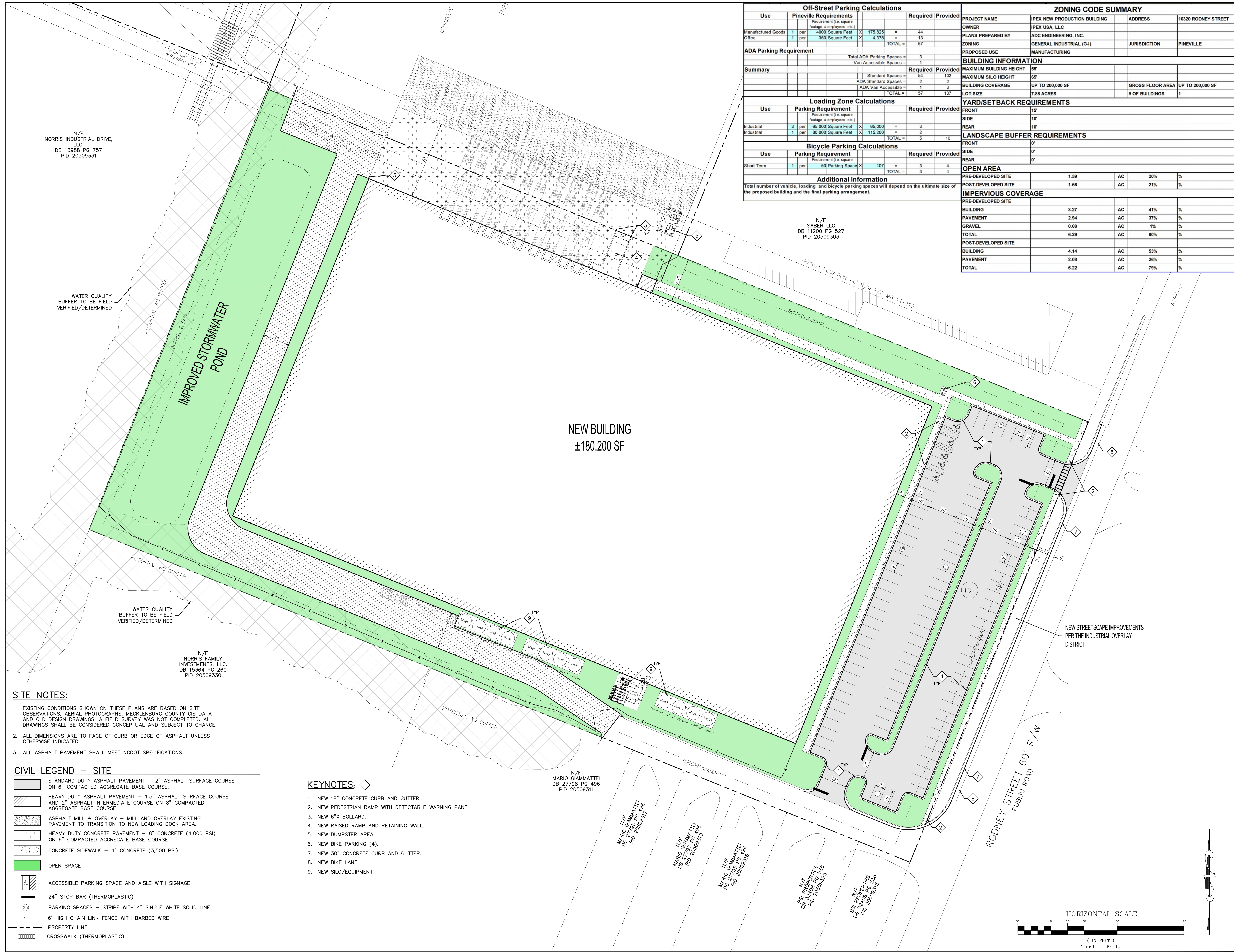
- CIVIL LEGEND - SITE**
- STANDARD DUTY ASPHALT PAVEMENT - 2" ASPHALT SURFACE COURSE ON 6" COMPACTED AGGREGATE BASE COURSE.
 - HEAVY DUTY ASPHALT PAVEMENT - 1.5" ASPHALT SURFACE COURSE AND 2" ASPHALT INTERMEDIATE COURSE ON 8" COMPACTED AGGREGATE BASE COURSE
 - ASPHALT MILL & OVERLAY - MILL AND OVERLAY EXISTING PAVEMENT TO TRANSITION TO NEW LOADING DOCK AREA.
 - HEAVY DUTY CONCRETE PAVEMENT - 8" CONCRETE (4,000 PSI) ON 6" COMPACTED AGGREGATE BASE COURSE
 - CONCRETE SIDEWALK - 4" CONCRETE (3,500 PSI)
 - OPEN SPACE

- ACCESSIBLE PARKING SPACE AND AISLE WITH SIGNAGE
- 24" STOP BAR (THERMOPLASTIC)
- PARKING SPACES - STRIPE WITH 4" SINGLE WHITE SOLID LINE
- 6" HIGH CHAIN LINK FENCE WITH BARBED WIRE
- PROPERTY LINE
- CROSSWALK (THERMOPLASTIC)

ZONING CODE SUMMARY				
PROJECT NAME	IPEX NEW PRODUCTION BUILDING	ADDRESS	10320 RODNEY STREET	
OWNER	IPEX USA, LLC			
PLANS PREPARED BY	ADC ENGINEERING, INC.			
ZONING	GENERAL INDUSTRIAL (G-1)	JURISDICTION	PINEVILLE	
PROPOSED USE	MANUFACTURING			
BUILDING INFORMATION				
MAXIMUM BUILDING HEIGHT	55'			
MAXIMUM SILO HEIGHT	65'			
BUILDING COVERAGE	UP TO 200,000 SF	GROSS FLOOR AREA	UP TO 200,000 SF	
LOT SIZE	7.88 ACRES	# OF BUILDINGS	1	
YARD/SETBACK REQUIREMENTS				
FRONT	15'			
SIDE	10'			
REAR	10'			
LANDSCAPE BUFFER REQUIREMENTS				
FRONT	0'			
SIDE	0'			
REAR	0'			
OPEN AREA				
PRE-DEVELOPED SITE	1.59	AC	20%	%
POST-DEVELOPED SITE	1.66	AC	21%	%
IMPERVIOUS COVERAGE				
PRE-DEVELOPED SITE				
BUILDING	3.27	AC	41%	%
PAVEMENT	2.94	AC	37%	%
GRAVEL	0.08	AC	1%	%
TOTAL	6.29	AC	80%	%
POST-DEVELOPED SITE				
BUILDING	4.14	AC	53%	%
PAVEMENT	2.08	AC	26%	%
TOTAL	6.22	AC	79%	%

Off-Street Parking Calculations					
Use	Pineville Requirements	Required	Provided		
Manufactured Goods	1 per 4000' Square Footage (e.g. square footage, # employees, etc.)	175,825	=	44	
Office	1 per 350' Square Footage	4,375	=	13	
			TOTAL =	57	
ADA Parking Requirement					
			Total ADA Parking Spaces =	3	
			Van Accessible Spaces =	1	
Summary					
			Standard Spaces =	54	102
			ADA Standard Spaces =	2	2
			ADA Van Accessible =	1	3
			TOTAL =	57	107
Loading Zone Calculations					
Use	Parking Requirement	Required	Provided		
Industrial	3 per 65,000' Square Footage (e.g. square footage, # employees, etc.)	65,000	=	3	
Industrial	1 per 80,000' Square Footage	115,200	=	2	
			TOTAL =	5	10
Bicycle Parking Calculations					
Use	Parking Requirement	Required	Provided		
Short Term	1 per 50' Parking Space	107	=	3	4
			TOTAL =	3	4
Additional Information					
Total number of vehicle, loading and bicycle parking spaces will depend on the ultimate size of the proposed building and the final parking arrangement.					





N/F
NORRIS INDUSTRIAL DRIVE,
LLC.
DB 13989 PG 757
PID 20509331

N/F
SABER LLC
DB 11200 PG 527
PID 20509303

N/F
NORRIS FAMILY
INVESTMENTS, LLC.
DB 15364 PG 260
PID 20509330

NEW BUILDING
±180,200 SF

N/F
MARIO GIAMMATTEI
DB 27798 PG 496
PID 20509311

N/F
MARIO GIAMMATTEI
DB 27798 PG 496
PID 20509317

N/F
MARIO GIAMMATTEI
DB 27798 PG 496
PID 20509313

N/F
MARIO GIAMMATTEI
DB 27798 PG 496
PID 20509316

N/F
DB PROPERTIES
DB 32440 PG 458
PID 20509325

N/F
DB PROPERTIES
DB 32440 PG 458
PID 20509318

Off-Street Parking Calculations				
Use	Pineville Requirements	Requirement (i.e. square footage, # employees, etc.)	Required	Provided
Manufactured Goods	1 per 4000 Square Feet	X 175,825 =	44	
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		TOTAL =	57	
ADA Parking Requirement				
		Total ADA Parking Spaces =	3	
		Van Accessible Spaces =	1	
Summary				
		Standard Spaces =	54	102
		ADA Standard Spaces =	2	2
		ADA Van Accessible =	1	3
		TOTAL =	57	107

Loading Zone Calculations				
Use	Parking Requirement	Requirement (i.e. square footage, # employees, etc.)	Required	Provided
Industrial	3 per 65,000 Square Feet	X 65,000 =	3	
Industrial	1 per 80,000 Square Feet	X 115,200 =	2	
		TOTAL =	5	10

Bicycle Parking Calculations				
Use	Parking Requirement	Requirement (i.e. square footage, # employees, etc.)	Required	Provided
Short Term	1 per 50 Parking Space	X 107 =	3	4
		TOTAL =	3	4

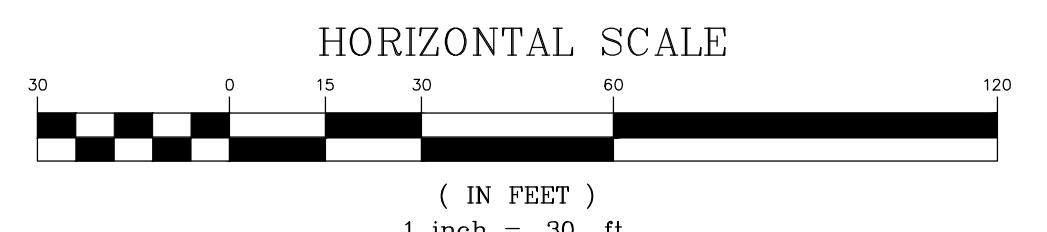
Additional Information
Total number of vehicle, loading and bicycle parking spaces will depend on the ultimate size of the proposed building and the final parking arrangement.

ZONING CODE SUMMARY			
PROJECT NAME	IPEX NEW PRODUCTION BUILDING	ADDRESS	10320 RODNEY STREET
OWNER	IPEX USA, LLC		
PLANS PREPARED BY	ADC ENGINEERING, INC.		
ZONING	GENERAL INDUSTRIAL (G-I)	JURISDICTION	PINEVILLE
PROPOSED USE	MANUFACTURING		
BUILDING INFORMATION			
MAXIMUM BUILDING HEIGHT	55'		
MAXIMUM SILO HEIGHT	65'		
BUILDING COVERAGE	UP TO 200,000 SF	GROSS FLOOR AREA	UP TO 200,000 SF
LOT SIZE	7.88 ACRES	# OF BUILDINGS	1
YARD/SETBACK REQUIREMENTS			
FRONT	15'		
SIDE	10'		
REAR	10'		
LANDSCAPE BUFFER REQUIREMENTS			
FRONT	0'		
SIDE	0'		
REAR	0'		
OPEN AREA			
PRE-DEVELOPED SITE	1.59	AC	20%
POST-DEVELOPED SITE	1.66	AC	21%
IMPERVIOUS COVERAGE			
PRE-DEVELOPED SITE			
BUILDING	3.27	AC	41%
PAVEMENT	2.94	AC	37%
GRAVEL	0.08	AC	1%
TOTAL	6.29	AC	80%
POST-DEVELOPED SITE			
BUILDING	4.14	AC	53%
PAVEMENT	2.08	AC	26%
TOTAL	6.22	AC	79%

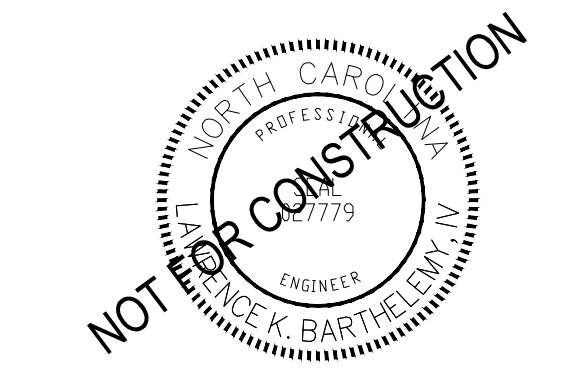
- SITE NOTES:**
- EXISTING CONDITIONS SHOWN ON THESE PLANS ARE BASED ON SITE OBSERVATIONS, AERIAL PHOTOGRAPHS, MECKLENBURG COUNTY GIS DATA AND OLD DESIGN DRAWINGS. A FIELD SURVEY WAS NOT COMPLETED. ALL DRAWINGS SHALL BE CONSIDERED CONCEPTUAL AND SUBJECT TO CHANGE.
 - ALL DIMENSIONS ARE TO FACE OF CURB OR EDGE OF ASPHALT UNLESS OTHERWISE INDICATED.
 - ALL ASPHALT PAVEMENT SHALL MEET NCDOT SPECIFICATIONS.

- CIVIL LEGEND - SITE**
- STANDARD DUTY ASPHALT PAVEMENT - 2" ASPHALT SURFACE COURSE ON 6" COMPACTED AGGREGATE BASE COURSE.
 - HEAVY DUTY ASPHALT PAVEMENT - 1.5" ASPHALT SURFACE COURSE AND 2" ASPHALT INTERMEDIATE COURSE ON 8" COMPACTED AGGREGATE BASE COURSE.
 - ASPHALT MILL & OVERLAY - MILL AND OVERLAY EXISTING PAVEMENT TO TRANSITION TO NEW LOADING DOCK AREA.
 - HEAVY DUTY CONCRETE PAVEMENT - 8" CONCRETE (4,000 PSI) ON 6" COMPACTED AGGREGATE BASE COURSE.
 - CONCRETE SIDEWALK - 4" CONCRETE (3,500 PSI)
 - OPEN SPACE
 - ACCESSIBLE PARKING SPACE AND AISLE WITH SIGNAGE
 - 24" STOP BAR (THERMOPLASTIC)
 - PARKING SPACES - STRIPE WITH 4" SINGLE WHITE SOLID LINE
 - 6' HIGH CHAIN LINK FENCE WITH BARBED WIRE
 - PROPERTY LINE
 - CROSSWALK (THERMOPLASTIC)

- KEYNOTES:**
- NEW 18" CONCRETE CURB AND GUTTER.
 - NEW PEDESTRIAN RAMP WITH DETECTABLE WARNING PANEL.
 - NEW 6" BOLLARD.
 - NEW RAISED RAMP AND RETAINING WALL.
 - NEW DUMPSTER AREA.
 - NEW BIKE PARKING (4).
 - NEW 30" CONCRETE CURB AND GUTTER.
 - NEW BIKE LANE.
 - NEW SILO/EQUIPMENT



IPEX, Inc.
Verdun, QC, Canada
NEW PRODUCTION BUILDING
SITE ANALYSIS
 PINEVILLE
NORTH CAROLINA



Gresham Smith
GS-NC P.C.
An Affiliate of Gresham Smith
GreshamSmith.com
201 South College Street
Suite 1950
Charlotte, NC 28244
704.944.7970

ADC ENGINEERING
25 WOODS LAKE ROAD, SUITE 210
GREENVILLE, SC 29607
864-751-9121
ADCENGINEERING.COM



DATE:	03/08/2021
ADC PROJECT #:	21002
DESIGNED:	LKB
CHECKED:	LKB
DRAWN:	LKB
REVISION:	

CONCEPTUAL
SITE PLAN

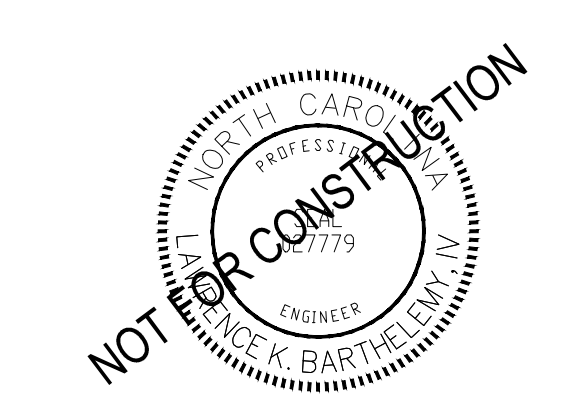
C201

CONCEPTUAL PRICING SET

IPEX USA, LLC
Verdun, QC, Canada

NEW PRODUCTION BUILDING

PINEVILLE
NORTH CAROLINA



GreshamSmith.com
201 South College Street
Suite 1950
Charlotte, NC 28244
704.944.7970

ADC
ENGINEERING
25 WOODS LAKE ROAD, SUITE 210
GREENVILLE, SC 29607
864-751-9121
ADCENGINEERING.COM
NC COA # C-1572



DATE:	03/16/2021
ADC PROJECT #:	21002
DESIGNED:	LKB
CHECKED:	LKB
DRAWN:	LKB
REVISION:	

DRAINAGE AREA
PLAN

C320

PRE-DEVELOPMENT CONDITIONS:

PRE-DEVELOPMENT AREA:	7.88 AC
BUILDING AREA:	3.27 AC
PAVEMENT AREA:	2.94 AC
GRAVEL AREA:	0.08
PERVIOUS AREA:	1.59 AC
% IMPERVIOUS AREA:	80%

CIVIL LEGEND – DRAINAGE AREA:

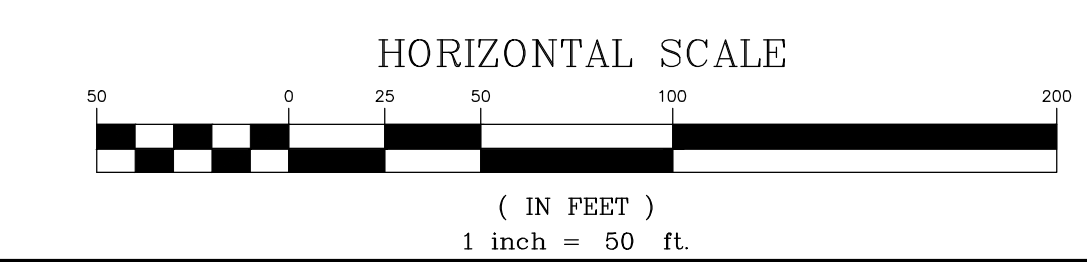
PARCEL BOUNDARY	—
BUILDING AREA	▬
PAVEMENT/GRAVEL AREA	▬

POST-DEVELOPMENT CONDITIONS:

POST-DEVELOPMENT AREA:	7.88 AC
BUILDING AREA:	±4.14 AC
PAVEMENT AREA:	±2.08 AC
PERVIOUS AREA:	±1.66 AC
% IMPERVIOUS AREA:	±79%

CIVIL LEGEND – DRAINAGE AREA:

PARCEL BOUNDARY	—
BUILDING AREA	▬
PAVEMENT AREA	▬



IPEX USA, LLC
Verdun, QC, Canada

NEW PRODUCTION BUILDING

PINEVILLE
NORTH CAROLINA

NOT FOR CONSTRUCTION



GreshamSmith.com
201 South College Street
Suite 1950
Charlotte, NC 28244
704.944.7970

ADC ENGINEERING
 25 WOODS LAKE ROAD, SUITE 210
 GREENVILLE, SC 29607
 864-751-9121
 ADCENGINEERING.COM
 NC COA # C-1572

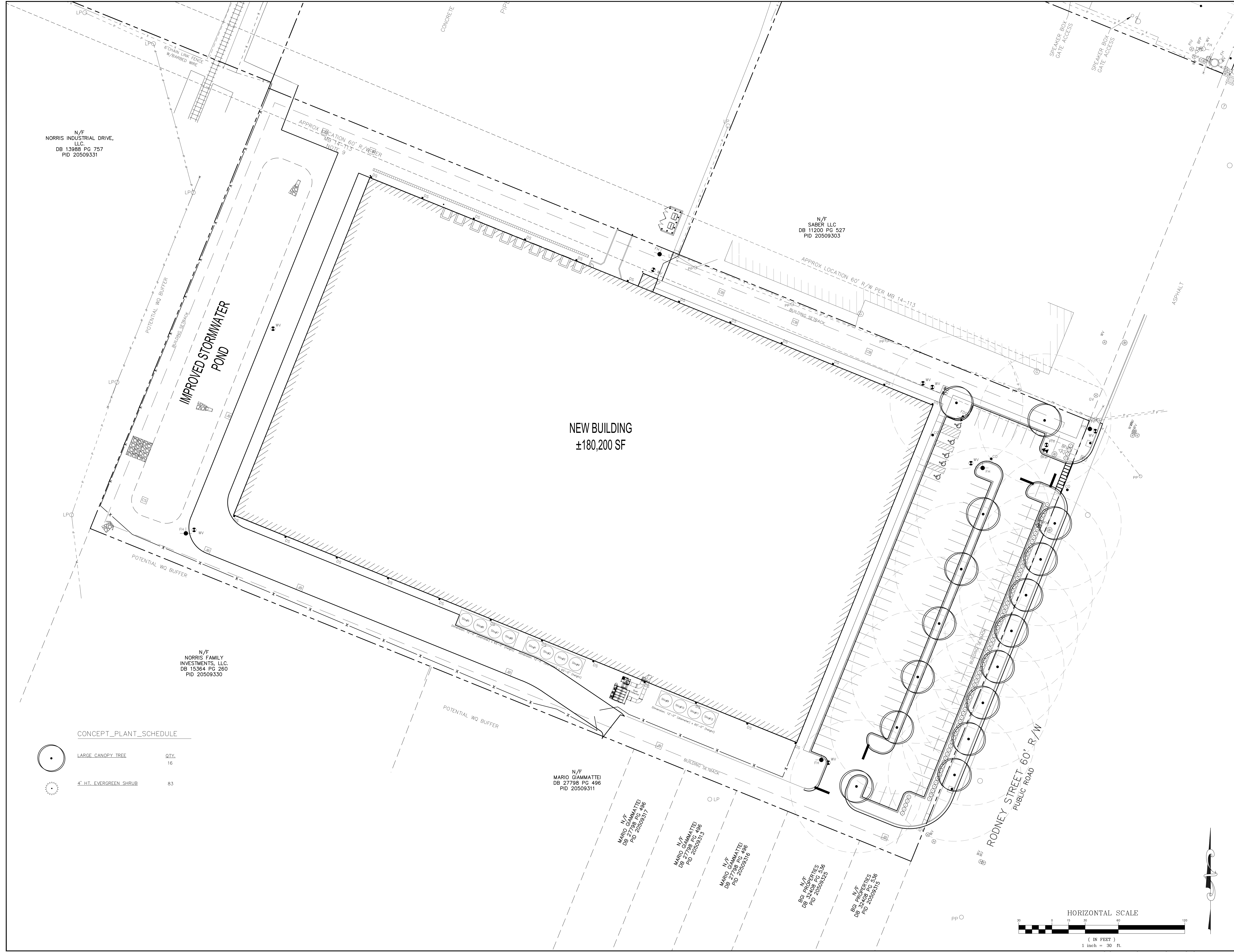


DATE:	03/16/2021
ADC PROJECT #:	21002
DESIGNED:	LKB
CHECKED:	LKB
DRAWN:	LKB
REVISION:	

LANDSCAPE PLANTING PLAN

L200

CONDITIONAL ZONING SUBMITTAL



N/F
NORRIS INDUSTRIAL DRIVE,
LLC,
DB 13988 PG 757
PID 20509331

N/F
SABER LLC
DB 11200 PG 527
PID 20509303

NEW BUILDING
±180,200 SF

IMPROVED STORMWATER
POND

RODNEY STREET 60' R/W
PUBLIC ROAD 60' R/W

CONCEPT_PLANT_SCHEDULE

	LARGE CANOPY TREE	QTY: 16
	4' HT. EVERGREEN SHRUB	83

N/F
MARIO GIAMMATTEI
DB 27798 PG 496
PID 20509311

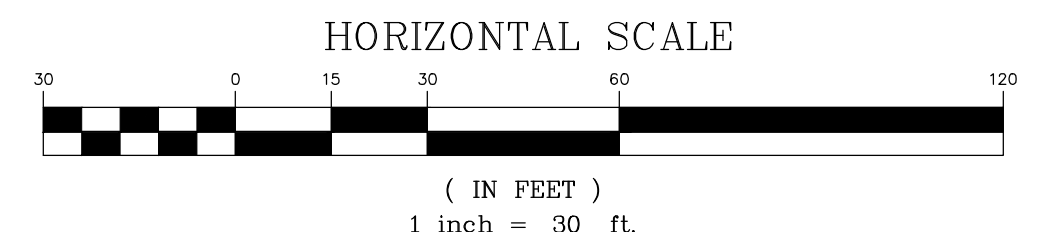
N/F
MARIO GIAMMATTEI
DB 27798 PG 496
PID 20509311

N/F
MARIO GIAMMATTEI
DB 27798 PG 496
PID 20509311

N/F
MARIO GIAMMATTEI
DB 27798 PG 496
PID 20509311

N/F
MARIO GIAMMATTEI
DB 27798 PG 496
PID 20509311

N/F
MARIO GIAMMATTEI
DB 27798 PG 496
PID 20509311



Workshop Meeting

Pineville PLANNING & ZONING

To: Town Council

From: Travis Morgan

Date: 3/22/2021

Re: Carolina Logistics Park amendment (*informational item*)

REQUEST:

John Core on behalf of Beacon requests amendments to the prior conditional plan. Three amendments have been requested:

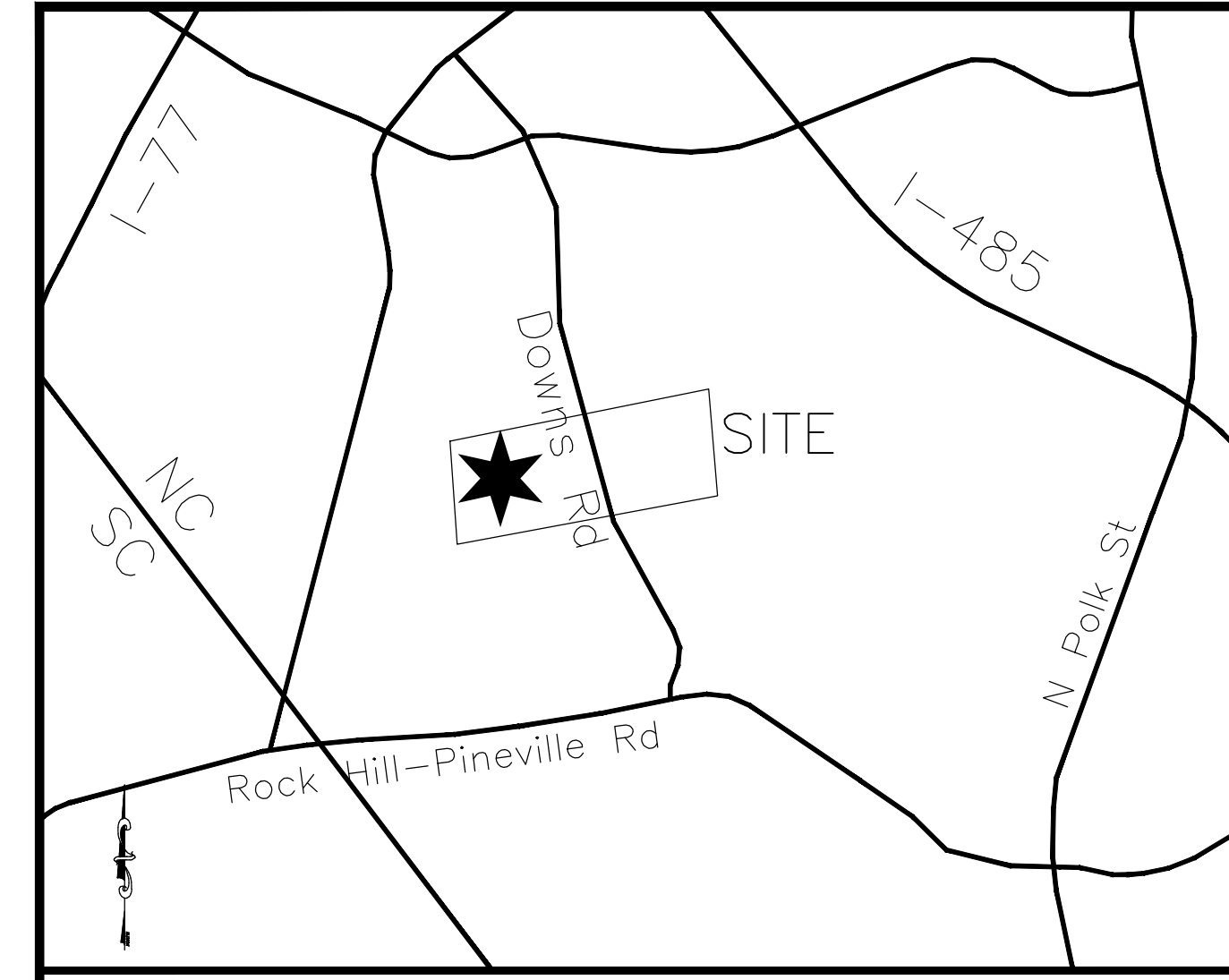
- 1) More front yard employee parking along the new connector road. All connector road buildings now have front yard parking. Text change states 1,657 parking spaces.
- 2) Tractor trailer parking in the front yard. As shown by building 4 with the approximate twelve angled tractor trailer spaces.
- 3) Subdivision entry signs. Beacon requests two entry signs in addition to the current maximum standard (7 foot tall and 50 square feet) individual monument sign. There would be a sign easement and two actual free standing signs on properties by entrances. There could/would be two individual signs rather than the singular monument sign current ordinance allows.

STAFF COMMENT:

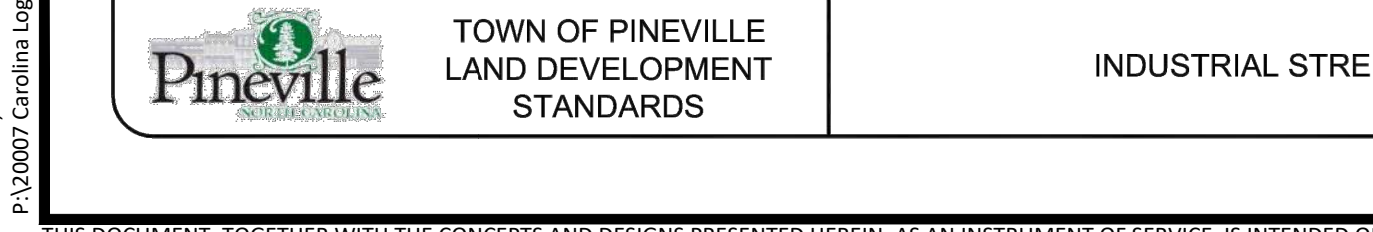
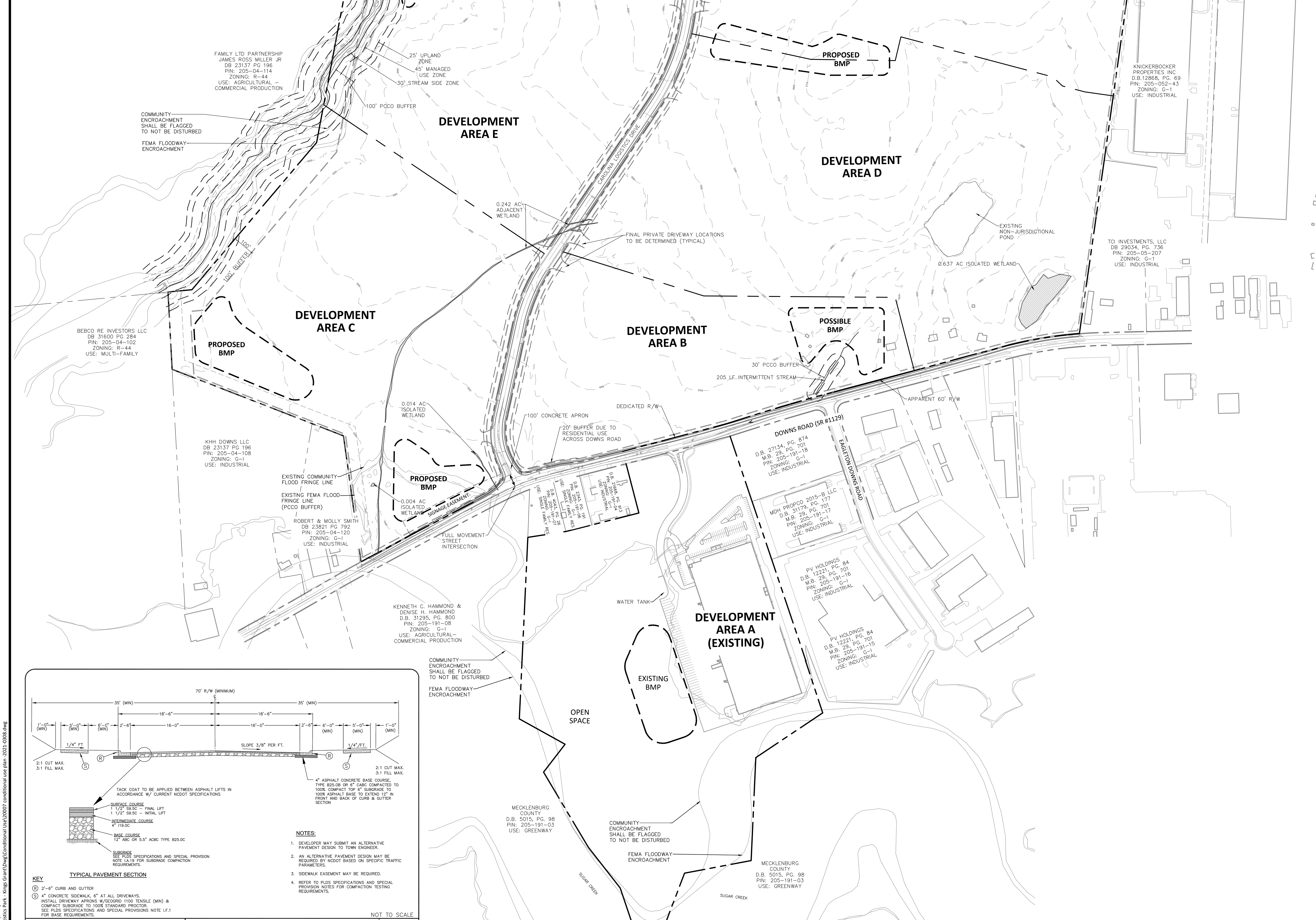
- 1) The original approval staff supported the limited front yard parking with specific numbers to ensure the basic concept remained the same and encourage street front facing buildings that the overlay specifies. Of the seven original connector road buildings 3 had no front yard parking and provided a maximum of 943 front parking spaces. The new proposal buildings have been combined and pushed back. Staff understands and supports keeping car parking lot movement separate from tractor trailers but notes the view down the new connector road will be all parking lots in a suburban sprawl pattern. Staff welcomes comments, suggestions, or additional town benefit items from landscaping, screen walls to additional right-of-way for Downs Road.
- 2) Original approval does not allow tractor trailer parking in the front yard along the new connector road. Staff opposes as inconsistent.
- 3) Signs. Staff recommends subdivision entry signs for this project due to building size and acreage and part of our placemaking goals. Monument using farm equipment theme as art is appreciated. Text 7B(a)(b) request is not completely clear. Signage 25 feet tall and one being 40 square feet of signage and other 75 square feet? If the entry elements do not have signage they would be allowed as art in the ordinance. Zoning issue is two free standing signs on the same property these could allow one business two signs and not be fair to other properties that are permitted only one. If entry signs were on their own parcel of land they would be conforming. Applicant does not want to create a commercial HOA and/or other reasons they do not want to create entry sign parcel. Applicant to explain.

PROCEDURE:

This workshop is to gain information about the proposal. This meeting is to familiarize you with the applicant's request and to hear any initial comment.



VICINITY MAP
NOT TO SCALE



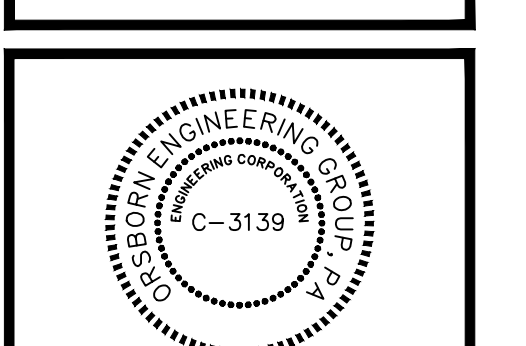
TYPICAL PAVEMENT SECTION
NOT TO SCALE

- Development Standards**
- DEVELOPMENT DATA TABLE**
 - A. Site Average: V-288
 - B. Tax Parcels included in Rezone: 2051811, 2051812, 2051813, 2050413, 2050414, 2050415, 2051910, 2050544
 - C. Existing Zoning: G-1 (Conditional Use)
 - D. Proposed Zoning: G-1 (Conditional Use)
 - E. Proposed Square Footage
 - Development Area A: A maximum of 250,000 SF of Office/Industrial/Warehouse Space
 - Development Areas B-G: A maximum of 3,500,000 SF of Office/Industrial/Warehouse Space
 - F. Maximum Building Height: 50' from first floor finished floor elevation to roof peak.
 - G. Maximum Number of Buildings: 15 for Development Areas A, B, C, D, E, F, and G.
 - H. Minimum Number and/or Ratio of Parking Spaces: 1 space/4,000 SF for warehouse/manufacturing
 - I. Amount of Open Space: Per PCCO Requirements
 - GENERAL PROVISIONS**
 - A. These Development Standards, the Technical Site Plan, Conceptual Site Plan and Conceptual Building Elevations and other graphics set forth form this Conditional Use Plan (collectively referred to as the "Conditional Use Plan") associated with the Conditional Use Plan filed by BIR-CLP LLC, BIR-CLD1220 LLC, BIR-CLD1925 LLC, and BIR-DR1215 LLC (collectively referred to as the "Petitioner") for an approximately 288 acre site located on Downs Road and Nations Ford Road at the Tax Parcels referenced above.
 - B. Zoning Ordinance/Ordinance: Development of the site will be governed by the Technical Site Plan as well as the applicable provisions of the Town of Pineville Zoning Ordinance (the "Ordinance") dated February 12, 2019.
 - C. Unless developed for a by-right use allowed in G-1, less than 100,000 SF, all conditions and requirements in this plan shall apply for development of the site.
 - D. Graphics and alterations: The schematic depictions of the uses, parking areas, sidewalks, structures and buildings, streets and other development matters and site elements (collectively the "development/site elements") set forth on the Conceptual Site Plan and should be reviewed in conjunction with the provisions of these Development Standards. The layout, locations, sizes and formulations of the development/site elements depicted on the Conceptual Site Plan are graphic representations of the development/site elements proposed. Since the project has not undergone the design development and construction phases, it is intended that this Conditional Use Plan provide flexibility in allowing some alterations or modifications from the graphic representations of the Conceptual Site Plan and Conceptual Building Elevations within compliance of the development standards.
 - E. Minor adjustments not anticipated by these development standards will be reviewed and approved by the Planning Director. The Planning Director will then determine if such minor modifications are allowed per this amended process, and if it is determined that the alteration does not meet the criteria set forth above, the petitioner shall then follow the administrative amendment process.
 - F. Number of buildings principal and accessory: The total number of principal buildings to be developed on the site shall not exceed 15. Accessory buildings and structures located on the site shall not be considered in any limitation on the number of buildings on the site. Accessory buildings and structures located on the site shall not be limited in location except for they shall be inside of any setbacks. Accessory structures and buildings include structures and buildings such as but not limited to: equipment enclosures, dumpster enclosures, gazebos, covered picnic areas, water tanks, guard houses, trailers, accessory storage buildings and does not include exterior equipment.
 - G. The Conditional Use Plan shall be vested for a period of 5 years from the date of approval. The Conditional Use Plan will be fully vested upon completion of the Carolina Logistics Drive.
 - PERMITTED USES & DEVELOPMENT AREA LIMITATION:**
 - A. All uses allowed by right in the G-1 zoning district except those defined as Class 2 Manufactured Goods.
 - B. Outdoor storage is permitted for the storage of: pipe, racking systems and equipment, scaffolding systems, storage containers, metal building products, spools of wire, siding, lumber, masonry products, roofing materials, fencing materials, geotextile fabrics, mechanical equipment, and pallets. No storage will be located in the front yards between the Carolina Logistics Drive and Downs Road.
 - C. Outdoor storage shall be screened from the public street right-of-way per the ordinance.
 - ENVIRONMENTAL FEATURES:**
 - A. The petitioner shall comply with the Town of Pineville approved and adopted Post Construction Controls Ordinance through the construction of regional stormwater wet ponds. Wet ponds will be landscaped and maintained per Pineville and North Carolina Ordinances.
 - B. The location, size and type of storm water management systems depicted on the concept site plan are subject to review and approval as part of the full development plan submittal and are not implicitly approved with this rezoning. Adjustments may be necessary to accommodate actual storm water treatment requirements and natural site discharge points.
 - C. Chain link fencing shall not be used around BMP structures unless required at the top of a retaining wall.
 - D. Preservation of existing trees and vegetation per section 7.3.5 is not required. Developer will preserve trees where feasible generally in areas such as floodplains, wetlands, and other preserved natural resource areas.
 - E. Zoning buffers indicated on the plan are based on current zoning and/or use of adjacent parcels. Buffers may be reduced or eliminated according to the ordinance if adjacent zoning or use changes in the future.
 - OPEN SPACE**
 - A. The Public Usable Open Space Requirement per the NIMM Overlay shall be met within the proposed Streetscape Improvements provided.
 - ACCESS AND TRANSPORTATION**
 - A. Access to the site will be from Downs Road and Nations Ford Road in the manner generally depicted on the Technical Site Plan.
 - B. Nations Ford Road right-of-way is located within Charlotte City Limits. Transportation and Streetscape Improvements for Nations Ford Road shall comply with NCDOT and City of Charlotte Standards and will generally include turn lanes and curbs and gutter along the project frontage. Sidewalk improvements will not be provided per Charlotte City Code Chapter 19-173(c).
 - C. The placement and configuration of the vehicular access points are subject to any modifications required to accommodate final site development and construction plans and to any adjustments required for approval by NCDOT, CDOT, NCECA and USACE in accordance with applicable published standards. Additionally, the Conditional Use Plan shall be compliant with the approved NCDOT TIA.
 - D. There shall be no on-street parking provided along Downs Road, Nations Ford Road, or Carolina Logistics Drive.
 - E. The alignment of the internal vehicular circulation and driveways may be modified by the petitioner to accommodate changes in traffic patterns.
 - F. The new public street shall meet the standards of the typical section illustrated on the Technical Site Plan, and street block length and size will be constructed as generally depicted.
 - G. An 8' planting strip and 5' sidewalk will be provided along both sides of the Carolina Logistics Drive.
 - H. Street intersections shall be designed to NCDOT standards that will accommodate tractor-trailer vehicles.
 - I. The petitioner will provide an eight (8) foot planting strip and five (5) foot sidewalk along the project frontage of Downs Road in Development Areas B, C, D, and E.
 - J. Pedestrian crosswalks shall be indicated with painted striping.
 - K. Parking and loading shall not be located between principal building and Downs Road in Development Area B. Parking and loading may be located between the principal buildings and Downs Road right of way in Development Areas C and D if setbacks more than 100' from the right of way. Parking in Development Areas A & F shall be provided as illustrated on the Technical Site Plan as previously approved.
 - L. The parking as generally depicted on the Conceptual Plan is permitted between principal buildings and the proposed Carolina Logistics Drive. Parking shall be set back a minimum of 20' from the street right of way.
 - M. The Petitioner has a maximum of 1,657 parking spaces allowed between Carolina Logistics Drive and the primary building front yard facade to allocate among Development Areas B, C, D, E & F.
 - N. Truck courts may not be located in the front yard between the principal building and the proposed Carolina Logistics Drive except as shown on the Conceptual Plan in Development Area C. Loading and truck courts shall be set back a minimum of 20' from the street right of way.
 - O. Truck courts may be located between the principal building and Nations Ford as consistent with what is shown on the Conceptual Plan for buildings 10 and 11. Loading and truck courts shall be set back a minimum of 20' from the street right of way.
 - P. In Development Area G, truck courts shall be located either to the side and/or rear of the parcel.
 - Q. Carolina Logistics Drive will be paved with concrete pavement for a minimum of the first 100 feet from the intersection of Nations Ford Road and from Downs Road.
 - SIGNAGE**
 - A. Signage shall be permitted as dictated by the G-1 zoning districts ordinance: 5.4.6 General Industrial Signs.
 - B. In addition to 7.A., one additional monument sign will be permitted within each of the two (2) sign easements located on parcels 205-18-111 and 205-04-135 as shown on the Technical Site Plan and Conceptual Site Plan, limited to the following:
 - a. Located within the sign easement for parcel 205-18-111, an art sculpture, no more than 25' in height shall be permitted. The signage area mounted on the art sculpture shall not exceed 40 SF on any face of the sign and shall not exceed a total of 100 SF.
 - b. Located within the sign easement for parcel 205-04-135, the signage area shall not exceed 75 SF.
 - C. Lighting for 7.B and 7.C will comply with the ordinance: 5.7 Sign Illumination; Petitioner reserves the right to provide power to the sign via a solar power.
 - LIGHTING**
 - A. Lighting along Downs Road, Nations Ford Road and Carolina Logistics Drive shall be constructed in accordance with the ____ plans.
 - B. The lighting plan may be adjusted to accommodate future driveways.
 - ARCHITECTURAL STANDARDS**
 - A. Buildings will be constructed of similar materials and style of the Conceptual Building Elevations
 - B. All proposed principal buildings shall be located a minimum of 20' from all public street right of ways.
 - PHASING**
 - A. Improvements associated with Development Area A are complete and improvements associated with Development Area F are under construction.
 - B. The developer will construct the proposed Carolina Logistics Drive during development of the next phase of building construction in Development Areas B, C, D, E or F.
 - C. The developer will complete frontage improvements along Development Area G when improvements in Development Area G are constructed.



TECHNICAL SITE PLAN
FOR
CAROLINA LOGISTICS PARK
DOWNS ROAD
PINEVILLE, NORTH CAROLINA

CAROLINA LOGISTICS PARK
500 EAST MOREHEAD STREET, SUITE 200
CHARLOTTE, NC 28202



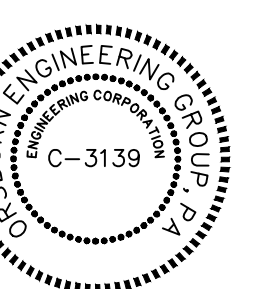
NO.	DATE	DESCRIPTION
1	03/05/21	FEED OWNER PLAN REVISIONS
2	07/05/20	FEED TOWN COORDINATION
3	06/19/20	FEED TOWN COORDINATION
4	04/22/20	FEED TOWN COORDINATION
5	03/11/20	FEED TOWN COORDINATION

JOB # 20007
DATE: 05/20/20
SCALE: 1" = 200'
DRAWN BY: BY
APPROVED BY: JCO

RZ 1.0

OFFSITE ROAD IMPROVEMENT PLANS
FOR
CAROLINA LOGISTICS PARK
DOWNS ROAD
PINEVILLE, NORTH CAROLINA

CAROLINA LOGISTICS PARK
500 EAST MOREHEAD STREET, SUITE 200
CHARLOTTE, NC 28202

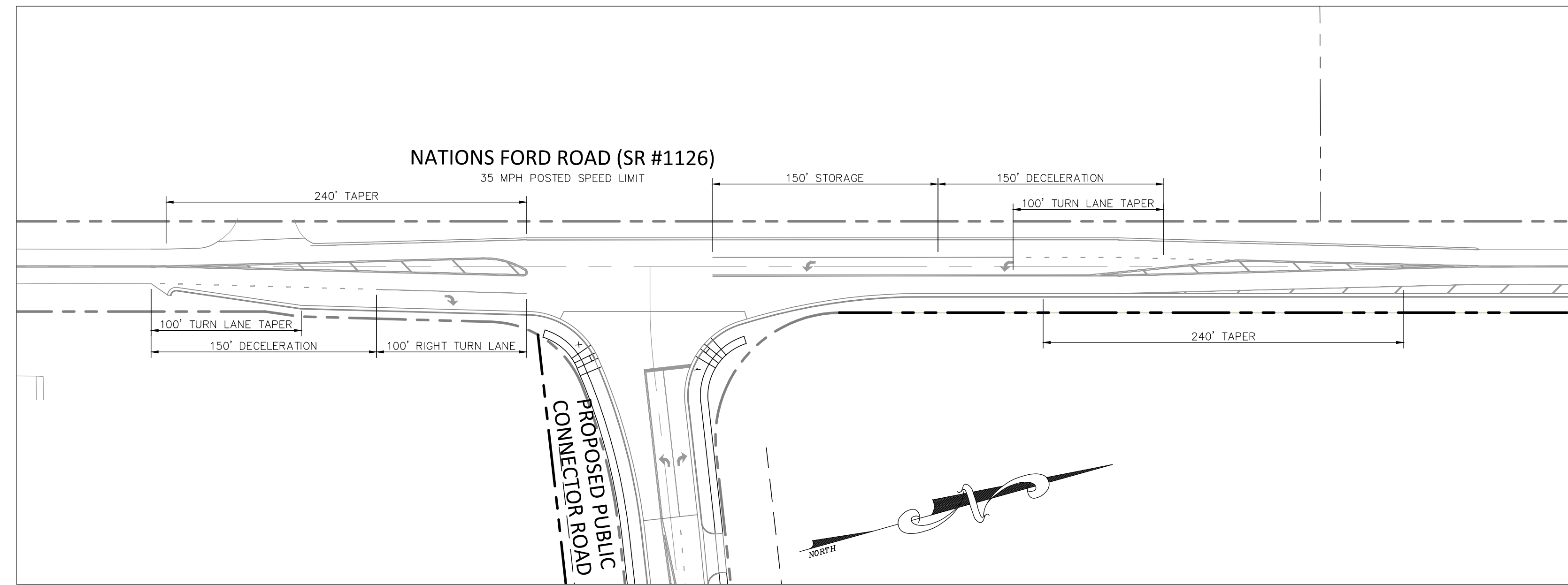


REVISIONS

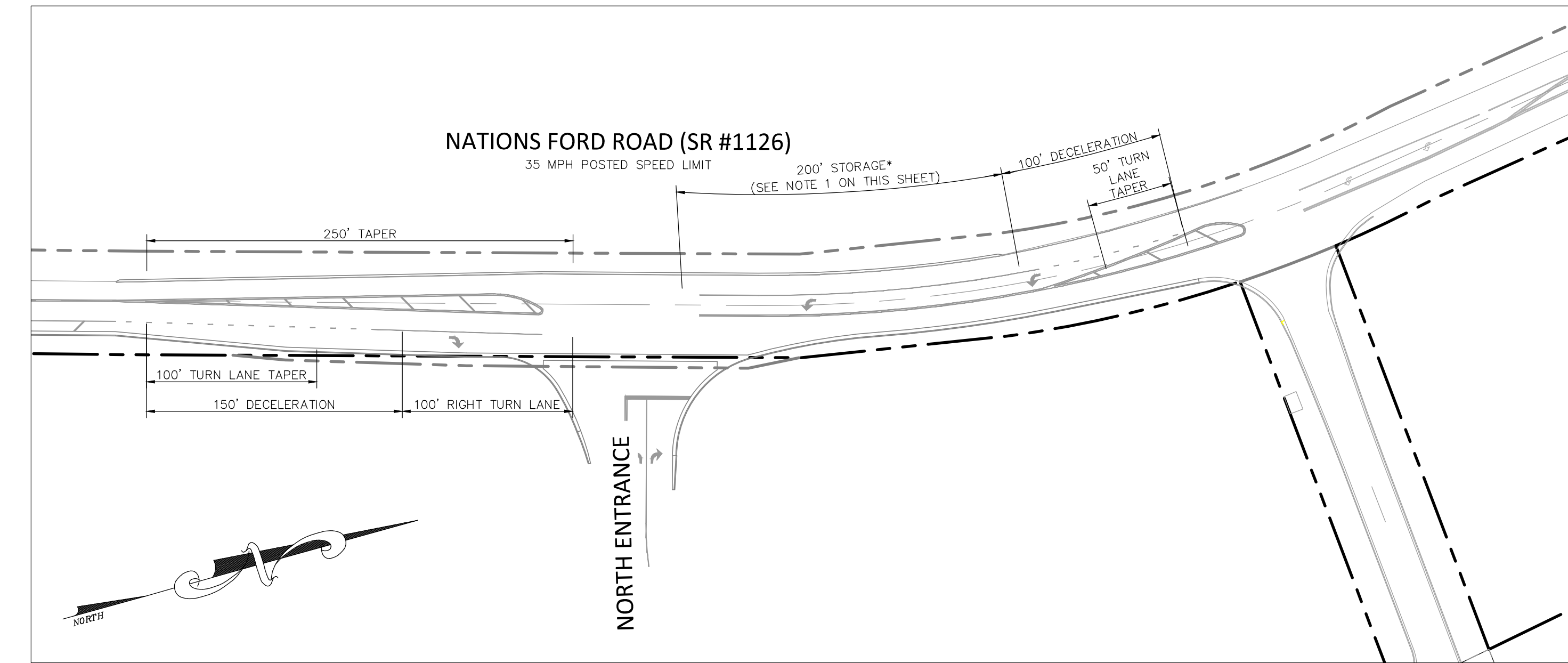
NO.	DATE	PER TOWN COORDINATION
1	07/08/20	

JOB # 20007
DATE 05/20/20
SCALE 1" = 60'
DRAWN BY: JAW
APPROVED BY: JCO

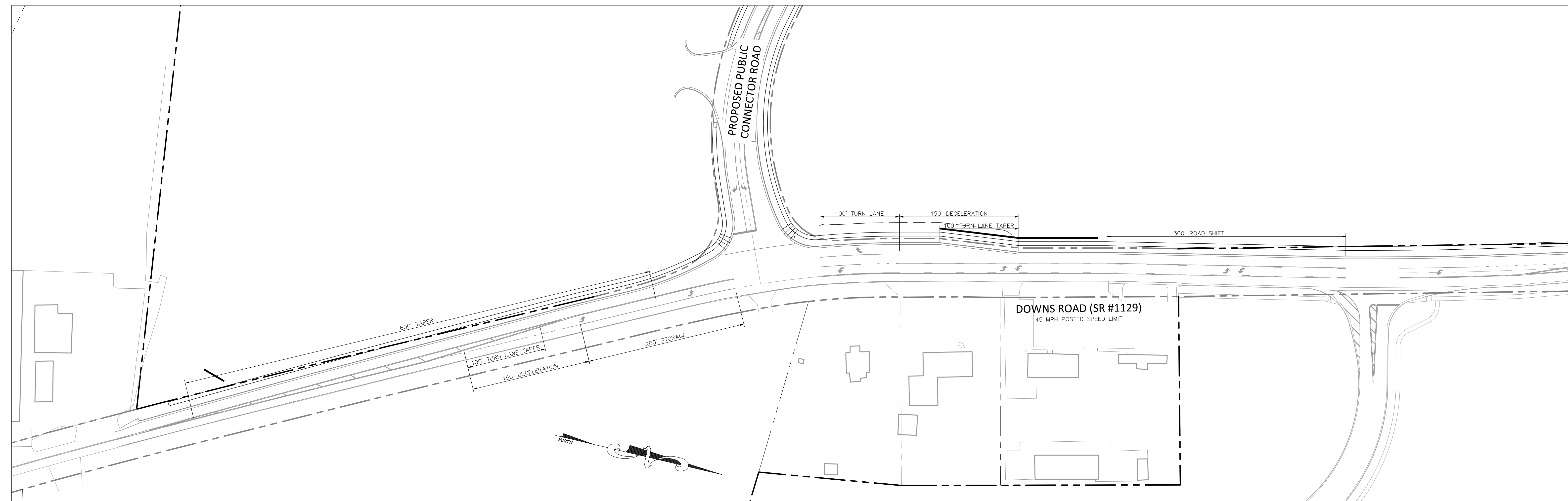
RZ 1.1



PROPOSED PUBLIC CONNECTOR ROAD
@ NATIONS FORD ROAD
SCALE 1" = 60'



NORTH ENTRANCE
@ NATIONS FORD ROAD
SCALE 1" = 60'



PROPOSED PUBLIC CONNECTOR ROAD
@ DOWNS ROAD
SCALE 1" = 60'

NOTES:

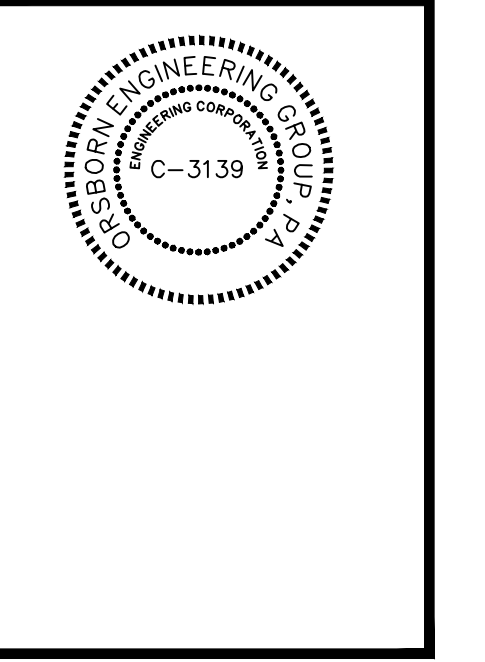
- * 100' STORAGE MAY BE USED FOR NOTED LEFT TURN LANE ON NATIONS FORD ROAD IF THE TURN LANE IS NOT USED FOR A TRUCK ENTRANCE.
- ROADWAY IMPROVEMENTS, INTERSECTION LOCATIONS, ETC. ARE SUBJECT TO APPROVAL BY PERMITTING AUTHORITIES.

March 11, 2021 - 1:10pm By: JCO
 P:\2007 Carolina Logistics Park - King Grant\Drawings\Conditional Use Plan - 2021 - 0308.dwg



CONCEPTUAL SITE PLAN
 FOR
CAROLINA LOGISTICS PARK
 DOWNS ROAD
 PINEVILLE, NORTH CAROLINA

CAROLINA LOGISTICS PARK
 500 EAST MOREHEAD STREET, SUITE 200
 CHARLOTTE, NC 28202



NO.	DATE	REVISIONS
1	03/09/21	PER OWNER PLAN REVISIONS
2	07/08/20	PER TOWN COORDINATION
3	06/19/20	PER TOWN COORDINATION
4	04/22/20	PER TOWN COORDINATION

JOB # 20007
 DATE 05/20/20
 SCALE 1" = 200'
 DRAWN BY: JCO
 APPROVED BY: JCO

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY ORSBORN ENGINEERING GROUP, PA SHALL BE WITHOUT LIABILITY TO ORSBORN ENGINEERING GROUP, PA.

Workshop Meeting

Pineville

PLANNING & ZONING

To: Town Council

From: Travis Morgan

Date: 3/22/2021

Re: **Town Code Fees** (*informational item*)

REQUEST:

- 1) Update Town Code fines to \$50 minimum
- 2) Update Town Code computation of time to more clear and simple standard wording
- 3) Update Town Code to change all North Carolina General Statutes from 160A to 160D

Staff recommends updating all Town Code fines up to a minimum of \$50 for the purpose of enforcement and worst case scenario; collections via NC debt setoff. The primary area this needs to be done is within the Town Code. Staff also recommends formal update and approval of North Carolina General Statutes enabling legislature number change from 160A to 160D in the Town Code. Staff would like to update the calculation of time for enforcement timelines as well.

§ 72.99 SCHEDULE OF CIVIL PENALTIES.

- (A) Effective November 1, 2004, the following civil penalties are fixed for the traffic violations indicated:

	Offense	Fine
(1)	Blocking alley	\$25 50
(2)	Blocking driveway	\$25 50
(3)	Double parking	\$25 50
(4)	Left side of curb	\$25 50
(5)	Meter violation	\$10 50
(6)	Nonparking space	\$25 50
(7)	Obstructing traffic (9:00 a.m.-4:00 p.m. and 6:00 p.m.-7:00 a.m.)	\$50
(8)	Obstructing traffic (7:00 a.m.-9:00 a.m. and 4:00 p.m.-6:00 p.m.)	\$75
(9)	Parking between curb and sidewalk	\$25 50
(10)	Parking overtime	\$15 50
(11)	Park or drive on sidewalk	\$25 50
(12)	Pedestrians subject to traffic regulations	\$10 50
(13)	Quiet zone	\$25 50
(14)	Using street for storage	\$100

(15)	Unauthorized parking on city property	\$25 50
(16)	Key in unattended vehicle	\$15 50
(17)	Vehicle parked in public right-of-way	\$100
(18)	Handicapped parking	\$100
(19)	Blocking curb cut	\$100
(20)	Violating restrictions in neighborhood parking permit area	\$25 50
(21)	Other parking violation not indicated	\$25 50
(22)	Parking in a fire lane/blocking fire hydrant	\$100

§ 10.12 REASONABLE TIME; COMPUTING TIME.

~~—(A) In all cases where an ordinance requires an act to be done in a reasonable time or requires reasonable notice to be given, reasonable time or notice shall be deemed to mean the time which is necessary for a prompt performance of the act or the giving of the notice.~~

~~—(B) The time within which an act is to be done shall be computed by excluding the first and the last day; and if the last day is Saturday, Sunday or a legal holiday, that day shall be excluded.~~

(A) exclude the day of the event that triggers the period;

(B) count every day, including intermediate Saturdays, Sundays, and legal holidays; and

(C) include the last day of the period, but if the last day is a Saturday, Sunday, or legal holiday, the period continues to run until the end of the next day that is not a Saturday, Sunday, or legal holiday.

PROCEDURE:

Town Code has no provision about Planning Board review. This would therefore be Town Council for review and approval following our past revision process. This workshop is to gain information about the proposal. This meeting is to familiarize you with the request and to hear any initial comment.